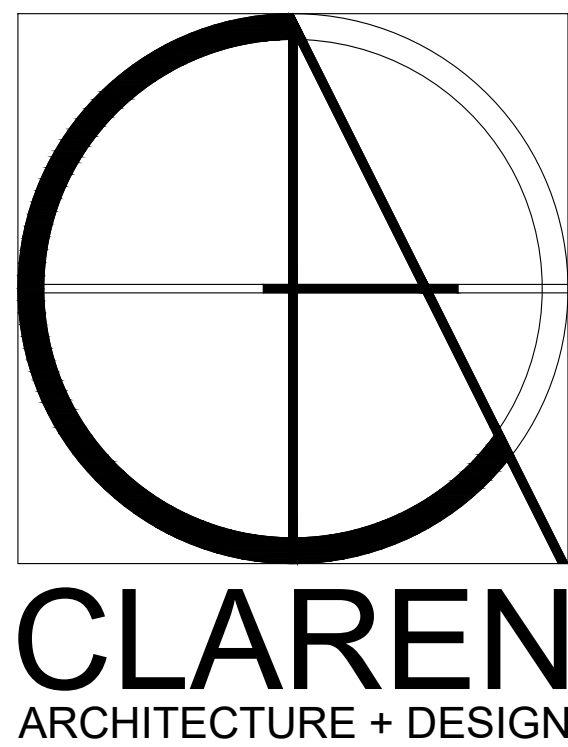


Phase 2 - Renovation for:

Great Smile Dental

155 SW Port St. Lucie Blvd.
Port St. Lucie, FL 34984



ARCHITECT:
Claren Architecture + Design, Inc.
6400 Congress Ave, Suite 2150
Boca Raton, Florida 33487
Tel.: 561-961-4884

MEP ENGINEER
RGD Consulting Engineers
2151 Alt. AIA, Suite 2000
Jupiter, Florida 33477
Phone: 561-743-0165

DRAWING INDEX

ARCHITECTURAL

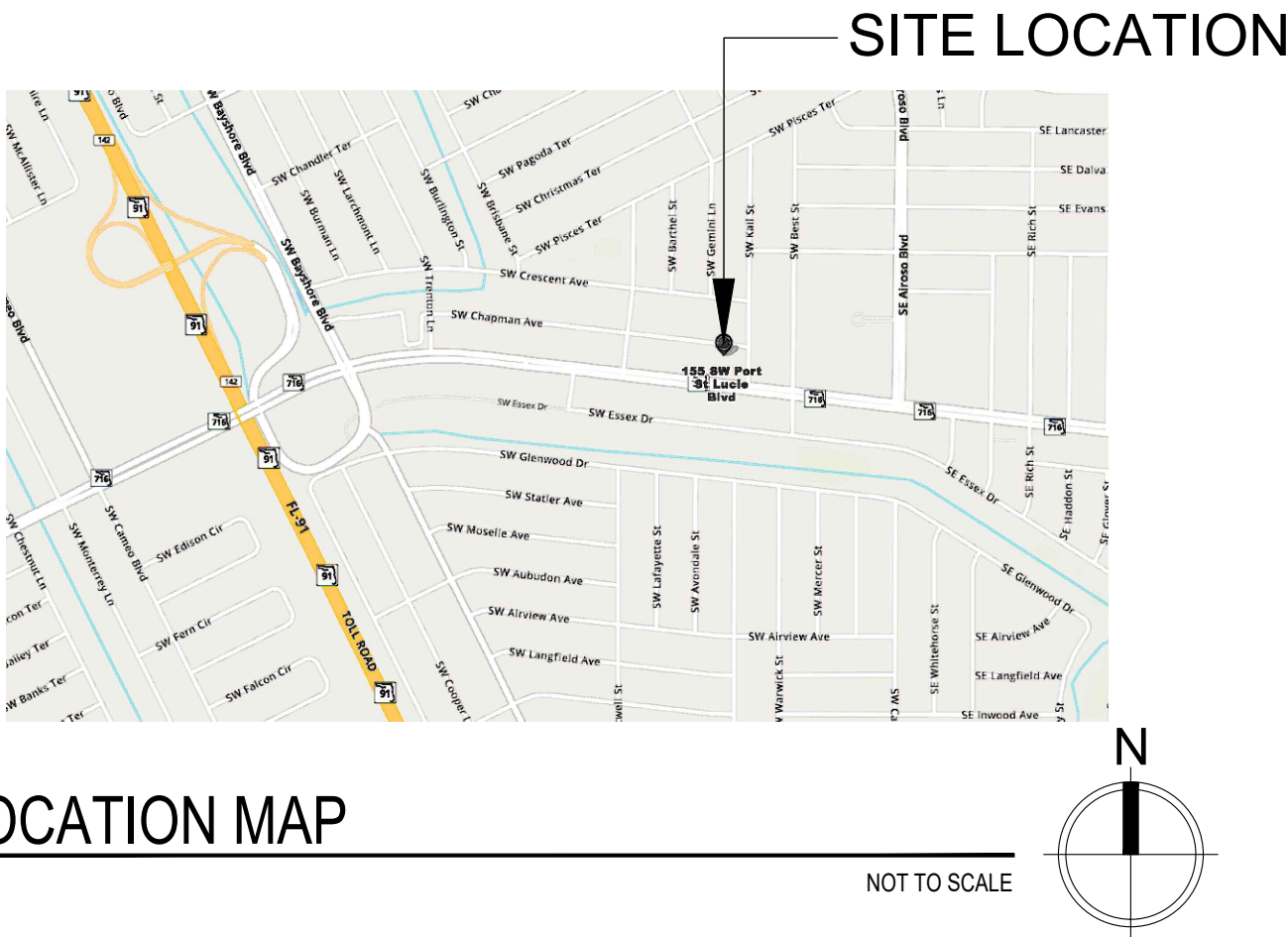
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- LS-1 LIFE SAFETY PLAN, BUILDING CODE
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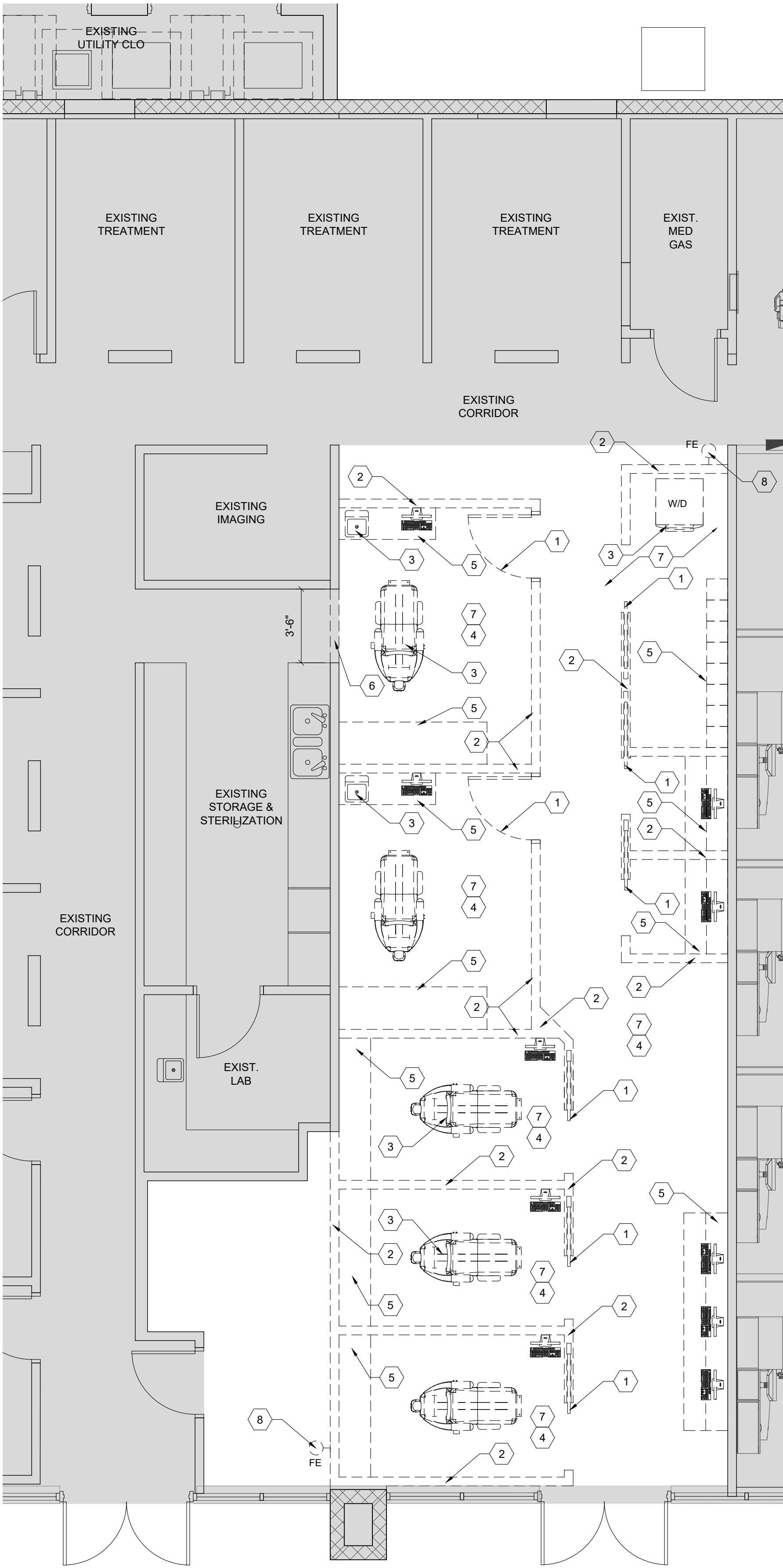
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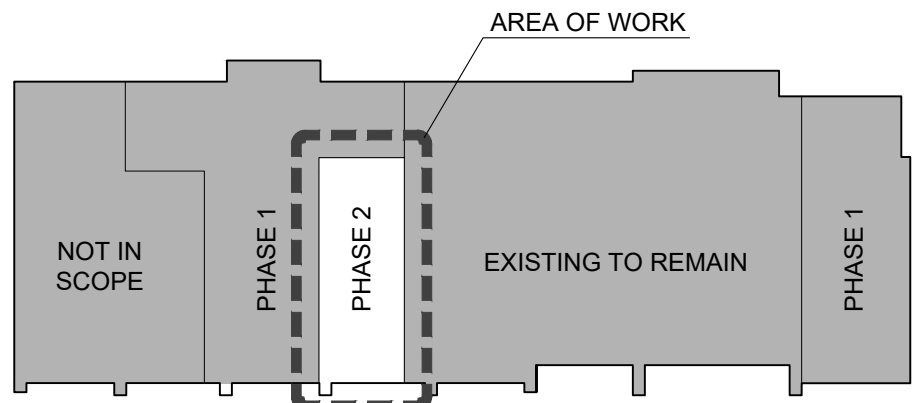




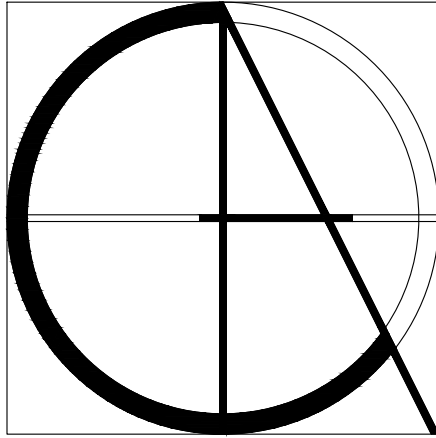
01 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN KEY NOTES	
	NOT IN SCOPE
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN
1	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE
2	REMOVE EXISTING WALL
3	REMOVE EXISTING FIXTURE OR PIPING AND ACCESSORIES & CAP OFF AS REQUIRED
4	REMOVE EXISTING FLOORING AND PREPARE SLAB TO RECEIVE NEW FLOORING
5	REMOVE EXISTING CASEWORK/SHELVING, ETC.
6	REMOVE PORTION OF EXISTING WALL
7	REMOVE EXISTING CEILING SYSTEM AND CEILING MOUNTED FIXTURE
8	RELOCATE EXISTING FIRE EXTINGUISHER

DEMOLITION PLAN GENERAL NOTES	
1.	DEMOLITION CONSISTS OF THE COMPLETE DISASSEMBLING, REMOVAL AND DISPOSAL OFF-SITE OF PORTIONS OF THE EXISTING BUILDING AS INDICATED.
2.	IF HAZARDOUS MATERIAL (LEAD PAINT, ETC.) OR MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED DURING THE DEMOLITION WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. ASBESTOS CONTAINING MATERIAL SHALL BE REMOVED AND DISPOSED OF BY THE OWNER.
3.	CONDITIONS OF STRUCTURES: THE OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. A. CONDITIONS EXISTING AT THE TIME OF INSPECTION, FOR BIDDING PURPOSES WILL BE MAINTAINED BY THE OWNER IN SO FAR AS PRACTICAL. B. THE OWNER WILL REMOVE DESIRED ITEMS, NOT SCHEDULED OR SELECTED TO BE SALVAGED BY THE CONTRACTOR, FROM THE BUILDING PRIOR TO START OF DEMOLITION.
4.	SALVAGING A. THE OWNER SHALL DETERMINE WHICH ITEMS ARE TO BE REMOVED BY THIS CONTRACTOR AND TURNED OVER TO THE OWNER TO BE REINSTALLED. THE CONTRACTOR SHALL INQUIRE AT BID TIME WHICH ITEMS SHOULD BE INCLUDED. B. OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE.
5.	STORAGE OR SALE OF REMOVED ITEMS AND MATERIALS WILL NOT BE PERMITTED ON THE OWNER'S PROPERTY.
6.	UTILITIES SHALL BE DISCONNECTED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF DEMOLITION.
7.	PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT OR SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN AS REQUIRED.
8.	BUILDING DEMOLITION: DEMOLISH THOSE PORTIONS OF THE EXISTING BUILDING DENOTED ON THE DRAWINGS AS BEING TOTALLY DEMOLISHED. USE SUCH METHODS AS REQUIRED TO COMPLETE THE WORK WITHIN THE LIMITATIONS OF GOVERNING REGULATIONS. A. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER FROM THE TOP OF THE STRUCTURE TO THE GROUND. B. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE WALLS TO SUPPORTING WALLS, FLOOR, OR FRAMING. C. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT AREAS AS A RESULT OF DEMOLITION WORK PERFORMED BY THE CONTRACTOR.
9.	DISPOSAL OF DEMOLISHED MATERIAL A. STORAGE OF REMOVED MATERIALS ON THE SITE WILL NOT BE PERMITTED. B. REMOVE AND LEGALLY DISPOSE OF OFF-SITE METAL ITEMS, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AT CONTRACTOR EXPENSE. C. GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER FOR DEMOLISHED ITEMS. THE BUILDING DUMPSTER SHALL NOT BE USED.
10.	PROTECT FROM DAMAGE, WHEN AND AS DIRECTED, EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
11.	PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVALS BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES, AND INSTALLATION OF NEW CONSTRUCTION TO INSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OF INTERIOR AREAS OF EXISTING BUILDING.
12.	UTILITY SERVICES: MAINTAIN ALL EXISTING UTILITIES NOT INDICATED TO BE DEMOLISHED, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. COORDINATE WITH THE OWNER. THE GENERAL CONTRACTOR SHALL TAKE CARE TO ENSURE THAT ALL ELECTRICAL POWER IS TURNED OFF PRIOR TO DEMOLITION OF ELECTRICAL COMPONENTS. ALL WIRING SHALL BE PROPERLY TERMINATED TO COMPLY W/ APPLICABLE CODES AND AVOID UNSAFE CONDITIONS.
13.	TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. A. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
14.	CEASE OPERATIONS AND NOTIFY ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
15.	COVER AND PROTECT EQUIPMENT, AND FIXTURES TO REMAIN FROM SOILING OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN ROOMS OR AREAS FROM WHICH SUCH ITEMS HAVE NOT BEEN REMOVED.
16.	LOCATE, IDENTIFY, STUB-OFF, AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN. A. PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICE TO BE OCCUPIED AREAS OF BUILDING. PROVIDE MINIMUM 72 HOURS ADVANCE NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS NECESSARY DURING CHANGEOVER. B. IF UNANTICIPATED, MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND ACCESS BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM ARCHITECT, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
17.	CONTRACTOR TO COORDINATE TEMPORARY SAFE STORAGE WITH OWNER.
18.	DEMOLITION AND CONSTRUCTION SHALL NOT INTERFERE WITH BUILDING OPERATIONS.
19.	ALL BUILDING LIFE SAFETY EQUIPMENT, I.E. FIRE ALARMS, ETC. SHALL REMAIN FULLY OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
20.	ALL PLUMBING LINES BEING REMOVED SHALL RECEIVE SHUT OFF VALVE AND BE CAPPED. VENTS SHALL BE CAPPED AND SEALED OFF ON ROOF.
21.	REMOVE EACH ITEM SHOWN WITH DASHED LINES ON THIS DRAWING WHETHER OR NOT EACH ITEM IS SPECIFICALLY NOTED TO BE REMOVED.
22.	AFTER THE DEMOLITION OF MATERIALS, THE RESULTING EXPOSED SURFACE SHALL BE SMOOTH AND FLUSH WITH EXISTING CONDITIONS.
23.	MAINTAIN THE EGRESS REQUIRED IN ALL AREAS PER ALL APPLICABLE CODES AND STANDARDS DURING CONSTRUCTION.
24.	ALL CONSTRUCTION AND DEMOLITION PROCEDURES SHALL COMPLY W/ NFPA 241.

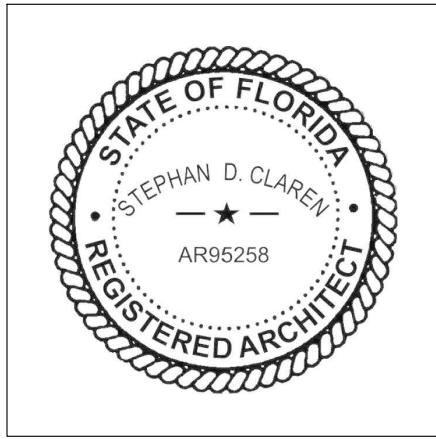


KEY PLAN
SCALE: N.T.S.



Claren Architecture + Design, Inc.
AA26002865
6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884
www.clarenarchitecture.com

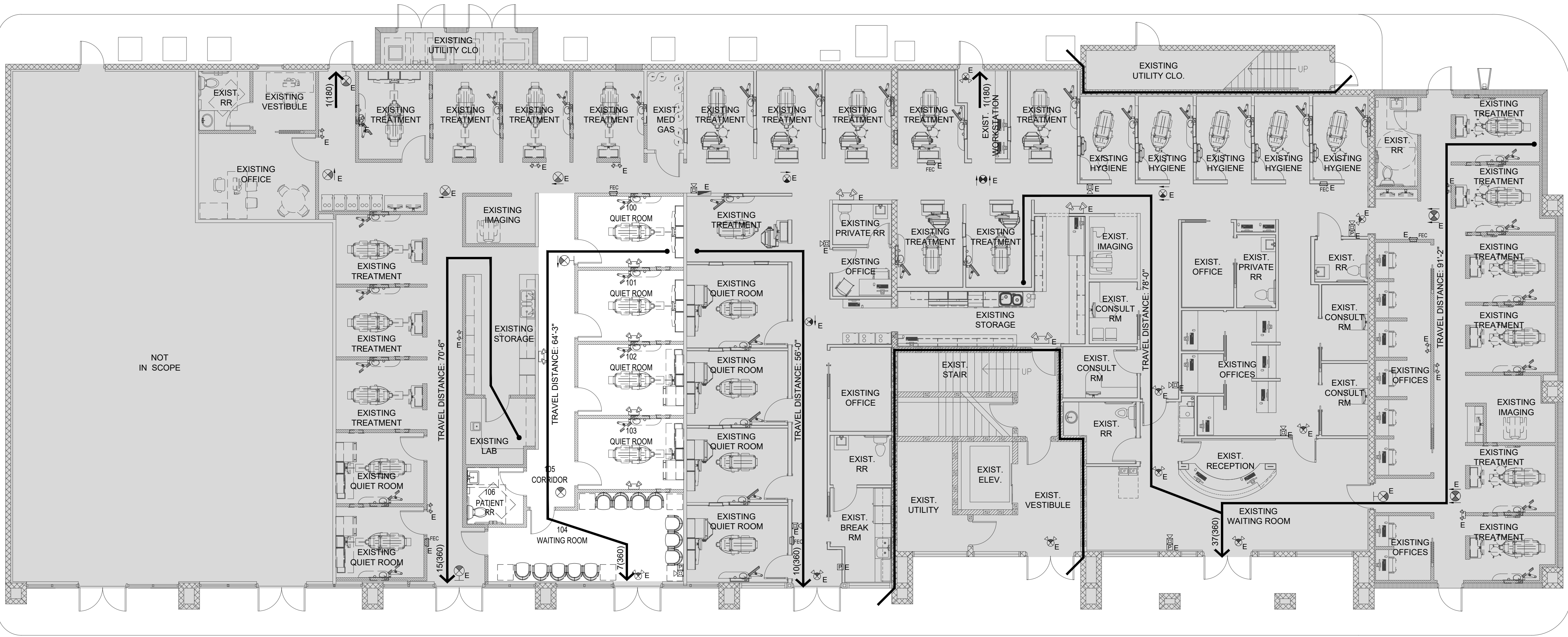
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Phase 2
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Port St. Lucie, FL 34984



PROJECT #	20-033
DATE	11-16-2021
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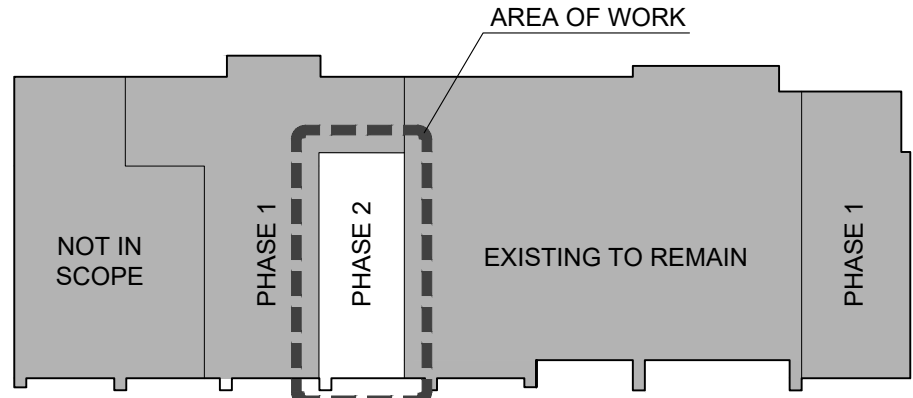
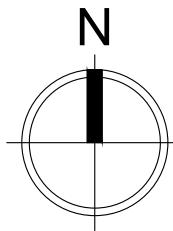
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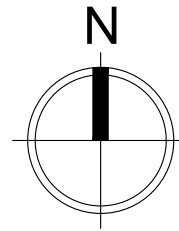
01 LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



KEY PLAN

SCALE: N.T.S.



BUILDING INFORMATION

BASED ON FLORIDA BUILDING CODE 7TH EDITION (2020)
AND FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)

LEVEL OF ALTERATION: ADDITION & LEVEL 2 (FBC-EB)
EXISTING BUILDING TYPE: TYPE III-B, NON-SPRINKLERED
OCCUPANCY: BUSINESS (B)
PREVIOUS OCCUPANCY: BUSINESS (B)

AREA	OCCUPANTS	
EXISTING TENANT SPACE	5,725 SF	39
PHASE 1 RENOVATION	2,341 SF	16
PHASE 1 ADDITION	1,590 SF	11
PHASE 2 RENOVATION	947 SF	7
TENANT SPACE TOTAL	10,603 SF	73

(THIS PROJECT)

EXIT REQUIREMENTS:
(MOST STRINGENT APPLIES)

	FBC	FFPC
MAXIMUM DEAD END CORRIDOR:	20 FEET (FBC-8 1020.4)	50 FEET (39.2.5.2)
MAX TRAVEL DISTANCE TO EXIT:	200 FEET (FBC-8 11017.2)	200 FEET (39.2.6.2)
MAX COMMON PATH OF TRAVEL:	100 FEET (FBC-8 11006.2.1)	75 FEET (39.2.5.3)

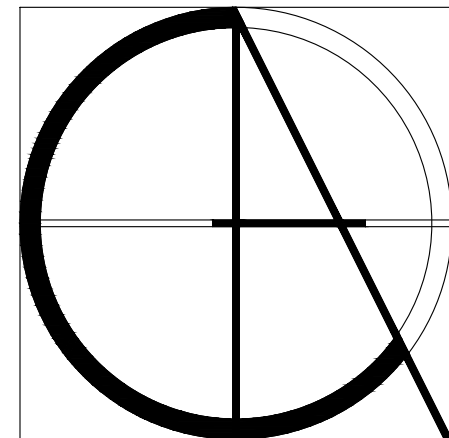
FIRE ALARM:
EXISTING FIRE ALARM TO BE MODIFIED AS REQUIRED & PERMITTED BY OTHERS.

LIFE SAFETY NOTES

- ALL BUILDING LIFE SAFETY EQUIPMENT SHALL REMAIN FULLY OPERATIONAL DURING CONSTRUCTION.
- MAINTAIN EGRESS THROUGH ALL AREAS DURING CONSTRUCTION. TEMPORARY WALLS SHALL ALSO BE LOCATED, AND ADJUSTED AS REQUIRED THROUGHOUT THE COURSE OF THE PROJECT, TO MAINTAIN EGRESS AT ALL TIMES.
- FIRE STOPPING AND DRAFT STOPPING SHALL BE PROVIDED AT ANY CONCEALED SPACE IN WHICH EXPOSED MATERIAL HAS A FLAME-SPREAD RATING LESS THAN CLASS-A.
- FIRE RATED WALL ASSEMBLIES SHALL EXTEND FULLY FROM THE FLOOR TO THE STRUCTURE & DECK ABOVE. ALL PENETRATIONS OF RATED ASSEMBLIES SHALL BE PROTECTED PER NFPA 101, BY FIRE DAMPERS, SLEEVES OR FIRE CAULKING BY A U.L. APPROVED METHOD.
- PROVIDE UL RATED ASSEMBLIES AT ALL PIPE, DUCTWORK, STRUCTURAL STEEL AND METAL JOIST PENETRATION OF FIRE-RATED WALLS.
- BUILDING EXIT DOORS REQUIRED BY CODE SHALL SWING IN THE DIRECTION OF EGRESS UNLESS THE OCCUPANT LOAD IS LESS THAN 50.
- ALL CORRIDORS AND NORMALLY OCCUPIED ROOMS SHALL BE EQUIPPED WITH EMERGENCY LIGHTING.
- FIRE EXTINGUISHERS SHALL BE PLACED AT INTERVALS NOT EXCEEDING A TRAVEL DISTANCE OF 75'.

LIFE SAFETY SYMBOLS LEGEND

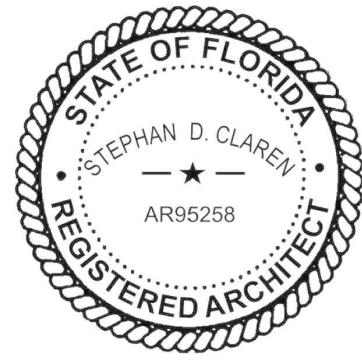
	ONE HOUR FIRE RATED WALL. ALL OPENINGS AND MECH. PENETRATIONS SHALL BE PROTECTED TO MAINTAIN THE INTEGRITY OF THE FIRE RATING FOR THE WALL. REFER TO WALL TYPES FOR UL NUMBERS
	TRAVEL DISTANCE
	PRIMARY MEANS OF EGRESS
	WALL MOUNTED FIRE EXTINGUISHER
	OCCUPANT LOAD
	OPENING EGRESS CAPACITY
	EMERGENCY LIGHT
	EXIT SIGN
	EXIT SIGN & EMERGENCY LIGHT
	FIRE ALARM HORN/STROBE
	FIRE ALARM PULL STATION
	EXISTING LIFE SAFETY DEVICE TO REMAIN



Claren Architecture + Design, Inc.

AA26002865
6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884
www.clarenarchitecture.com

Renovation for:
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Phase 2
155 SW Port St. Lucie Blvd.
Port St. Lucie, FL 34984



PROJECT # 20-033

DATE 11-16-2021

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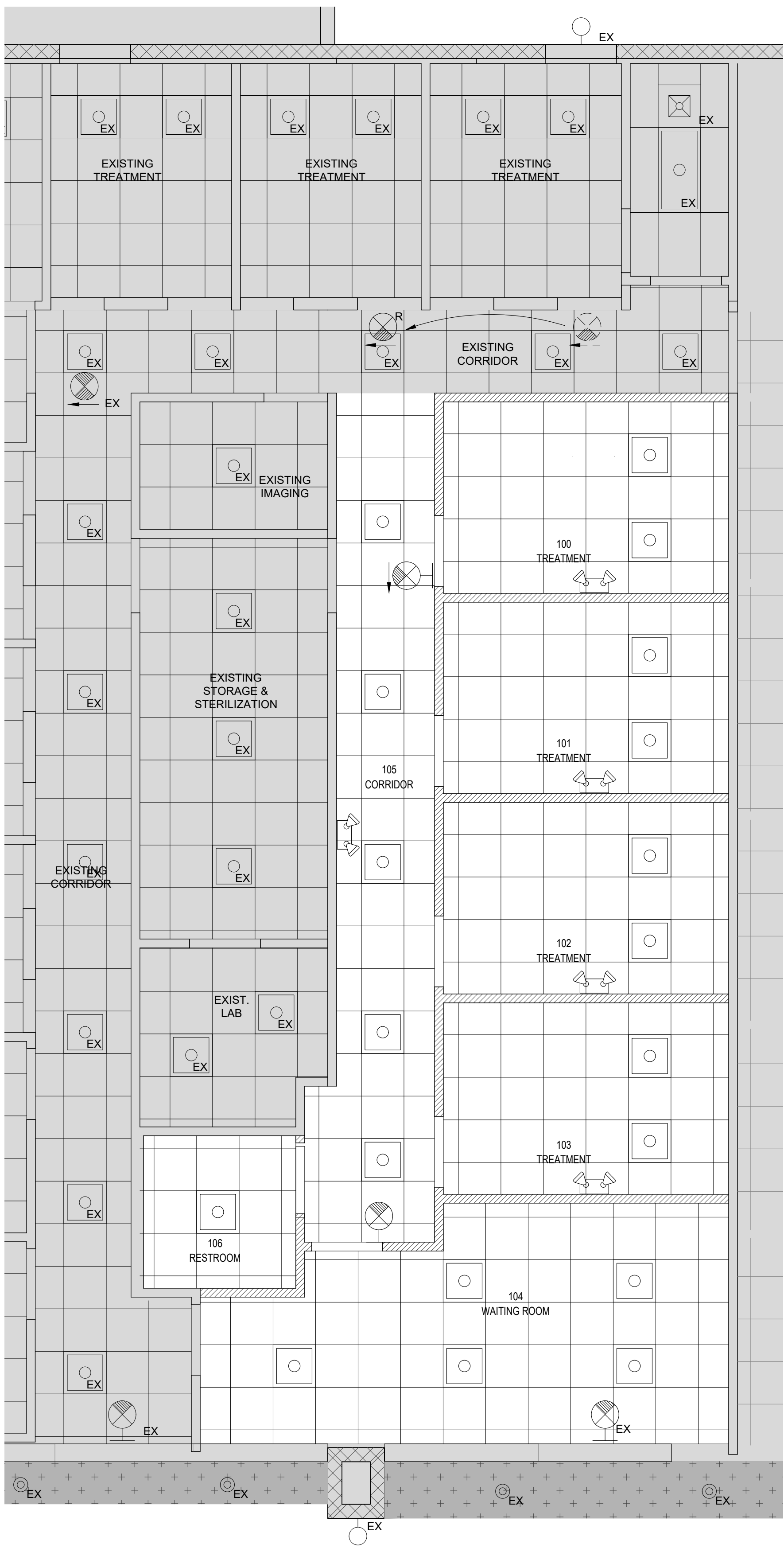
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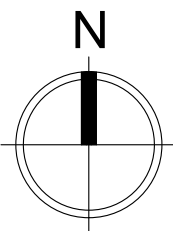
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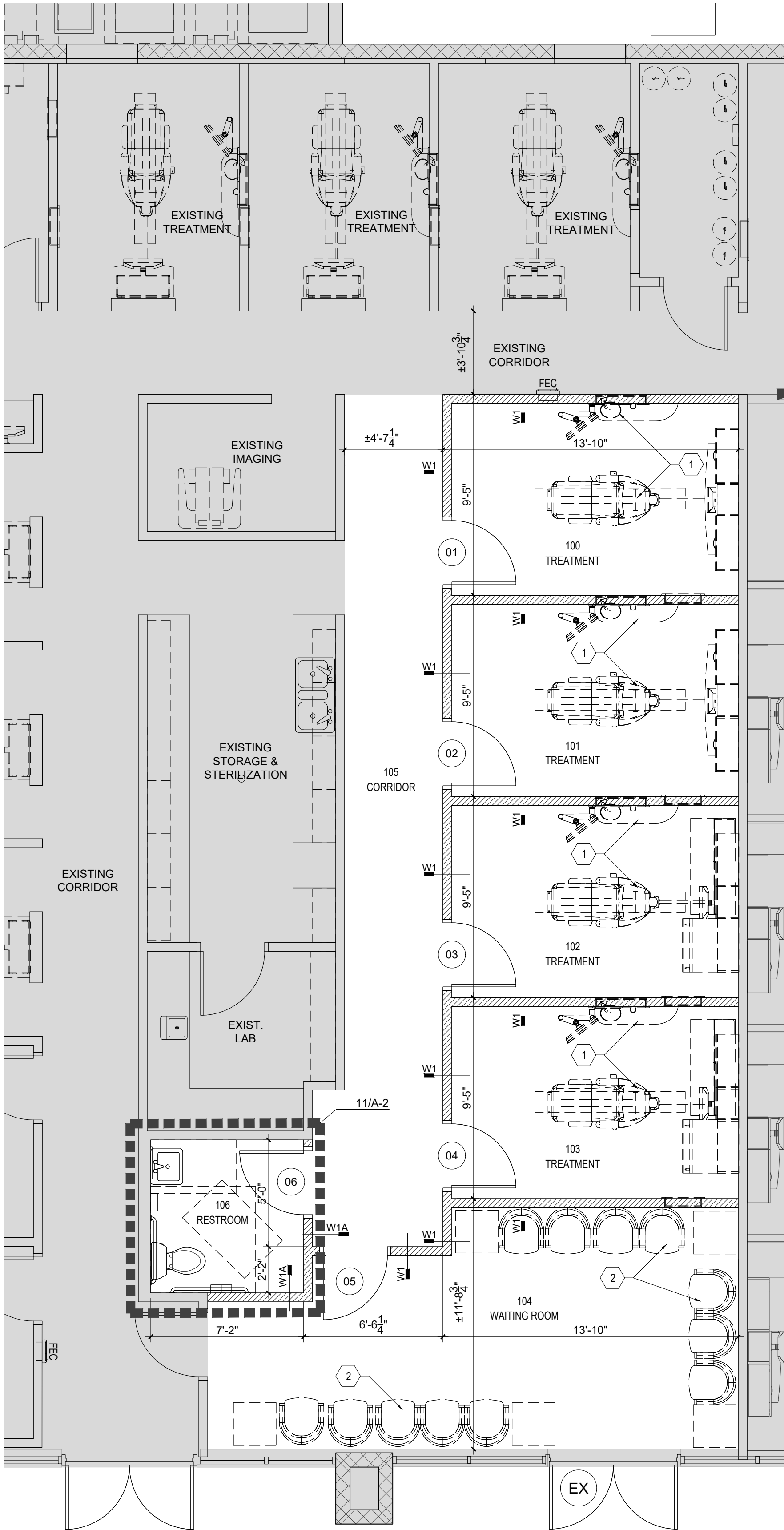
CEILING PLAN

SCALE: 1/4" = 1'-0"



CEILING PLAN SYMBOLS LEGEND					
	EMERGENCY LIGHTS		24 x 24 LAY-IN LIGHT FIXTURE		24 x 48 LAY-IN LIGHT FIXTURE
	EXIT SIGN		24 x 24 ACOUSTIC SUSPENDED GRID CEILING TO MATCH EXISTING		EXPOSED TO ABOVE
	EXISTING TO REMAIN		NEW		RELOCATED
	NOT IN SCOPE		WALL-MOUNTED FIXTURE		WALL SCONCE

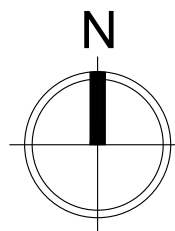
NOTE: EXTERIOR FIXTURES ARE EXISTING UNLESS NOTED OTHERWISE.



01

FLOOR PLAN

SCALE: 1/4" = 1'-0"



DOOR SCHEDULE									
OPENING NUMBER	DOOR	SIZE	MATL	TYPE	FRAME			FIRE RATING	HDWR
					MATL	HEAD	JAMB		
01	3'-0" x 7'-0" x 1 3/4"	WD	B	WD	04/A-2	05/A-2	06/A-2	-	OFFICE SET
02	3'-0" x 7'-0" x 1 3/4"	WD	B	WD	04/A-2	05/A-2	06/A-2	-	OFFICE SET
03	3'-0" x 7'-0" x 1 3/4"	WD	B	WD	04/A-2	05/A-2	06/A-2	-	OFFICE SET
04	3'-0" x 7'-0" x 1 3/4"	WD	B	WD	04/A-2	05/A-2	06/A-2	-	OFFICE SET
05	3'-0" x 7'-0" x 1 3/4"	WD	A	WD	04/A-2	05/A-2	06/A-2	-	OFFICE SET
06	3'-0" x 7'-0" x 1 3/4"	WD	A	WD	04/A-2	05/A-2	06/A-2	-	PRIVACY SET

- DOOR NOTES:
- COORDINATE/CONFIRM ALL DOOR HARDWARE WITH TENANT PRIOR TO CONSTRUCTION.
 - PROVIDE GRADE 2 COMMERCIAL LEVER HARDWARE.
 - PRE-HUNG WOOD DOORS SHALL BE PRIMED & PAINTED. HM DOORS & FRAMES SHALL BE PRIMED & PAINTED

FINISH SCHEDULE

RM. NO.	ROOM NAME	FLOOR	WALLS	BASE	CEILING	CEILING HEIGHT	REMARKS
100	TREATMENT	LVT	PNT/ GWB	VB	ACT	9'-0" A.F.F	
101	TREATMENT	LVT	PNT/ GWB	VB	ACT	9'-0" A.F.F	
102	TREATMENT	LVT	PNT/ GWB	VB	ACT	9'-0" A.F.F	
103	TREATMENT	LVT	PNT/ GWB	VB	ACT	9'-0" A.F.F	
104	WAITING ROOM	CPT	PNT/ GWB	VB	ACT	9'-0" A.F.F	
105	CORRIDOR	CPT	PNT/ GWB	VB	ACT	9'-0" A.F.F	
106	RESTROOM	CT	CTW/ PNT/ GWB	CB	ACT	9'-0" A.F.F	

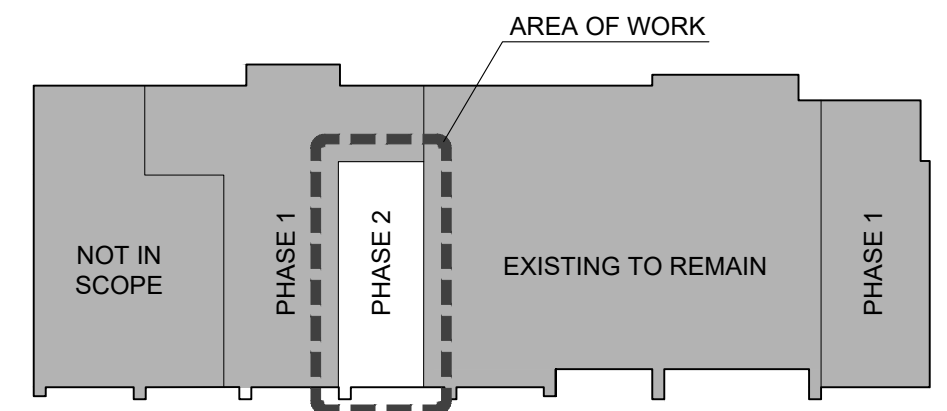
- FINISH NOTES:
- ALL FINISHES SHALL BE AS SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
 - PAINT SHALL BE SHERWIN WILLIAMS AND APPLIED AS FOLLOWS: ONE (1) COAT OF PRIMER AND TWO (2) COATS OF FINISH PAINT.
 - CEILING HEIGHT TO MATCH EXISTING
- FINISH LEGEND:
- ACT = ACOUSTICAL CEILING TILE, MATCH EXIST.
CPT = CARPET TILE, MATCH EXIST.
CT = CERAMIC TILE FLOOR, MATCH EXIST.
CTW = CERAMIC TILE WAINSCOT, MATCH EXIST.
TILE: SCHULTER TRIM & ACCESSORIES
CB = CERAMIC TILE BASE, MATCH EXIST.
LVT = LUXURY VINYL TILE, MATCH EXIST.
- PC = PAINTED CONCRETE. H&C COLORTOP GRAY OR EQUAL
P. LAM = PLASTIC LAMINATE W/ MATCHING PVC EDGE-BANDING, MATCH EXIST.
SS = SOLID SURFACE COUNTERTOP, MATCH EXIST.
- SV = SHEET VINYL W/ WELDED SEAMS, MATCH EXIST.
TS = RUBBER TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, MATCH EXIST.
VB = VINYL BASE, MATCH EXIST.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND APPLICABLE CODES, FCC 7TH EDITION (2020) & FLORIDA FIRE PREVENTION CODE, 7TH EDITION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF THE BUILDING STANDARDS AND LOCAL JURISDICTIONS.
- ALL FINISH MATERIALS, HARDWARE, ETC. SHALL MATCH THE BUILDING STANDARDS UNLESS NOTED OTHERWISE; IF THE CONTRACTOR HAS DIFFICULTY MATCHING BUILDING STANDARDS HE/SHE SHALL OBTAIN THE ARCHITECTS APPROVAL PRIOR TO SUBSTITUTING ANY ITEMS.
- PROPER CARE AND PROTECTION SHALL BE PROVIDED FOR ALL AREAS ADJACENT TO CONSTRUCTION AND ANY DAMAGE THAT MAY OCCUR TO THESE AREAS AS A RESULT OF THIS CONSTRUCTION SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE ORIGINAL CONDITION.
- ANY WORK THAT MUST BE PERFORMED IN OTHER TENANT SPACES IN RELATION TO THIS CONSTRUCTION SHALL BE PERFORMED IN A MANNER SO AS NOT TO DISRUPT THE OWNER. ALL WALLS, SLABS, CEILINGS, ETC. DISTURBED IN OTHER SPACES SHALL BE RESTORED TO ORIGINAL CONDITION ONCE WORK IS COMPLETE.
- THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY THE SIZES OF ALL OWNER PROVIDED EQUIPMENT AND COORDINATE ALL OPENINGS, CLEARANCES AND MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS WITH OWNER/ OWNER VENDOR PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING AND FITTING OF ALL WORK IN A NEAT & WORKMANLIKE MANNER. PROTECT ALL ADJACENT SURFACES FROM DAMAGE. PATCH & REPAIR ALL WORK DAMAGED DURING CONSTRUCTION TO ITS ORIGINAL OR BETTER CONDITION. WHERE NEW WORK ADJOINS EXISTING IN THE SAME PLANE, MATCH ADJACENT FINISHES, MATERIALS, TEXTURES, SHEEN, ETC.
- INSTALL TEMPORARY WALLS DURING CONSTRUCTION AS REQUIRED TO LIMIT THE TRANSFER OF DUST & NOISE FROM THE WORK AREA. ADJUST TEMPORARY WALL LOCATIONS AS REQUIRED THROUGHOUT CONSTRUCTION SO AS TO NOT INTERFERE WITH AREAS TO REMAIN.
- UPON COMPLETION OF THE WORK, PROPERTY AND ADJACENT AREAS SHALL BE LEFT CLEAN AND SATISFACTORY TO THE OWNER/ TENANT AND THE ARCHITECT.

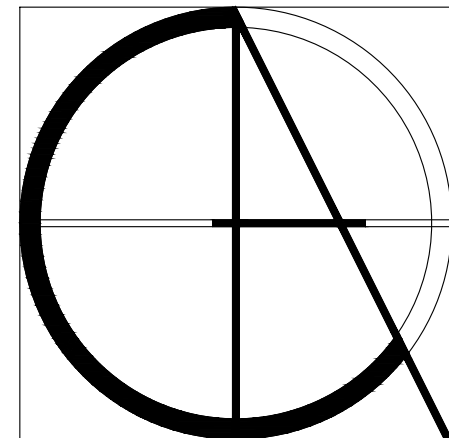
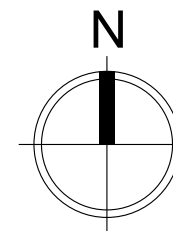
FLOOR PLAN NOTES

- EQUIPMENT SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR. CONTRACTOR SHALL COORDINATE EQUIPMENT REQUIREMENT WITH EQUIPMENT VENDOR.
- FURNITURE, FIXTURES OR EQUIPMENT SUPPLIED & INSTALLED BY OWNER.



KEY PLAN

SCALE: N.T.S.



Claren Architecture + Design, Inc.

AA26002865

6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487

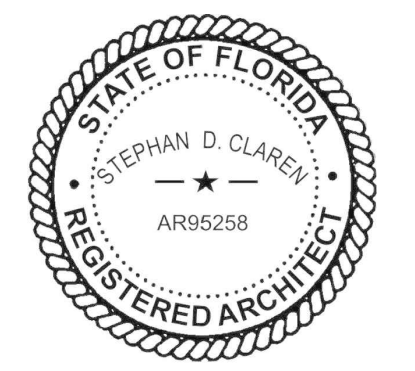
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