

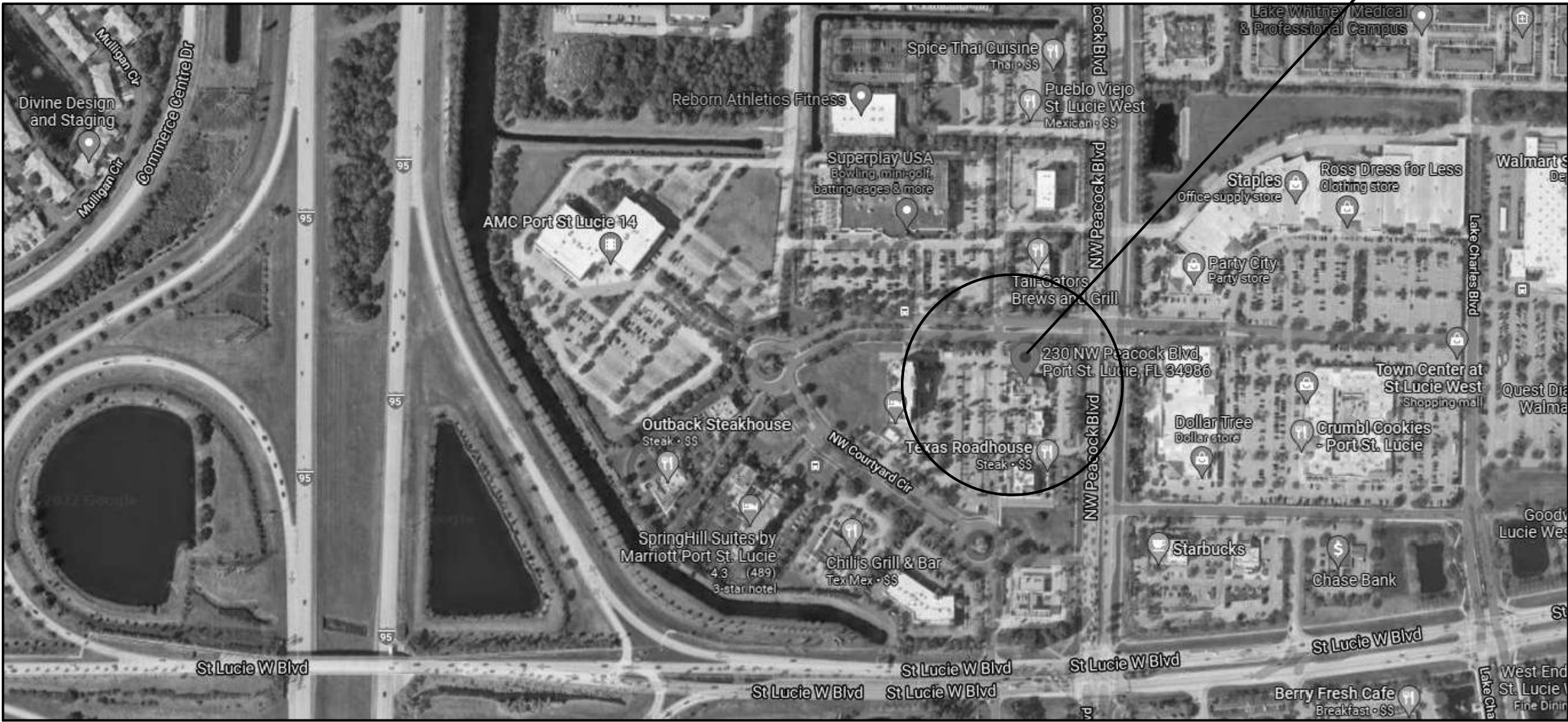
TENANT IMPROVEMENT

DENNY'S RESTAURANT

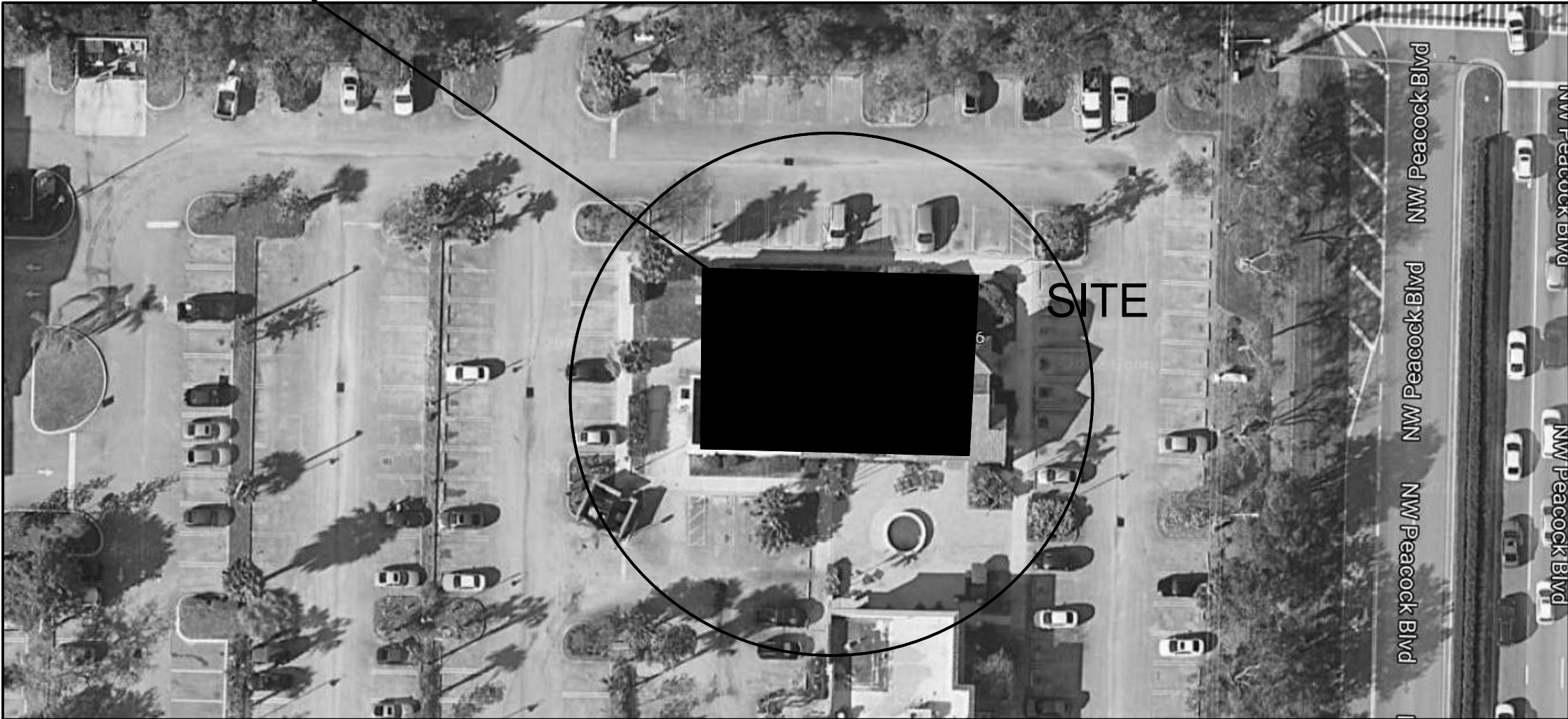
230 N.W.Peacock Blvd.
Port St. Lucie, Florida 34986

GENERAL NOTES		EXISTING BUILDING DATA							
<div>1. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH AL LOCAL, STATE, AND FEDERAL CODES.</div> <div>2. SUB-CONTRACTORS SHALL FIELD INSECT JOB SITE PRIOR TO COMMENCEMENT OF WORK AND SHALL ADHERE TO ALL RULES GOVERNING CONSTRUCTION, SAFETY, BUILDING ACCESS AND THE USE OF THE FACILITIES AS SET BY THE BUILDING OWNER, BUILDING DEPARTMENT, FIRE DEPARTMENT AND STATE AUTHORITIES.</div> <div>3. GENERAL AND SUBCONTRACTORS ARE RESPONSIBLE FOR INSPECTING THE PREMISES DURING BIDDING TO ASCERTAIN EXISTING CONDITIONS WHICH MIGHT AFFECT THE COST OF THE CONSTRUCTION.</div> <div>4. CONTRACTOR SHALL NOTIFY OWNER OF ANY DISCREPANCIES, CONFLICTS, ERRORS OR OMISSIONS ENCOUNTERED ON THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING MATERIALS. IF THERE ARE ANY QUESTIONS REGARDING THESE DRAWINGS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE OWNER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.</div> <div>5. DIMENSIONS INDICATED IN CONTRACT DOCUMENTS SHALL GOVERN DO NOT SACLE DRAWINGS.</div> <div>6. DETAILS SHALL TAKE PRECEDENCE OVER GENERAL FLOOR PLAN.</div> <div>7. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE SUBCONTRACTOR'S WORK AND TO REPORT TO THE OWNER ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENTS. COORDINATION SHALL INCLUDE, BUT NOT BE LIMITED TO VERIFYING CLEARANCES AT LIGHT FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, FIRE SPRINKLERS AND ELECTRICAL EQUIPMENT ABOVE THE CEILING.</div>		<div>8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE PROJECT SCHEDULE. PRIOR TO START OF THE PROJECT, THE GENERAL CONTRACTOR SHALL VERIFY LEAD TIMES OF FINISH MATERIALS AND SPECIAL ITEMS TO ASSURE AVAILABILITY AS SCHEDULE REQUIRES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE PROGRESS OF THE WORK AND INFORMING THE OWNER IMMEDIATELY OF ANY POTENTIAL DELAYS.</div> <div>9. ALL WORK LISTED, SHOWN, OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSLEY CORRDINATE HIS WORK WITH SCHEDULES ARE MET AND THAT ALL WORK DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.</div> <div>10. THE USE OF THE WORD "PROVIDE" IN CNNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED, WHERE SO REQUIRED, EXCEPT AS NOTED OTHERWISE.</div> <div>11. MATERIAL ARE SPECIFIED BY THIER BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED TO THE OWNER IN WRITING, IN A TIMELY MANNER. REQUESTS WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE OR A LOWER PRICE WITH CREDIT TO THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND FUNCTION. UNDER NO COST CIRCUMSTANCE WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED. SUBSTITUTE MATERIALS SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THE OWNER'S WRITTEN APPROVAL.</div>		<div>12. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONITIONED PER MANUFACTURER'S INSTRUCTION. IN CASE OF DIFFERENCEBETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND OBTAIN INSTRUCTIONS BEFORE PROCEEDING.</div> <div>13. BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, CONTRACTOR REPRESENT THAT HE HAS DETERMINED AND VRIFIED FIELD MEASUREMENTS, FIELD CONDITION CRITERIA, MATERIALS, CATALOG NUMBERS, AND SIMILAR DATA AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CORRDINATED WITH CONTRACT REQUIREMENTS. REVIEW OF SHOP DRAWINGS, PROPER FITTINGS, COORDINATION OF WORK, CONTRUCTION TECHNIQUES, MATERIALS, AND WORK REQUIRED BY CONTRACT DOCUMENTS.</div> <div>14. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND/OR DEMOLITION.</div> <div>15. SUBCONTRACTORS SHALL BE RESPOSIBLE FOR ANY DAMAGE TO PROPERTY OR CONSTRUCTION RESULTING FROM WORK OF CONTRACTOR AND/OR SUBCONTRACTORS, AND SHALL REPAIR ALL SUCH DAMAGE TO ORIGINAL CONDITION AT NO ADDITIONAL COST.</div> <div>16. CONTRACTOR SHALL BERESPONSILE FOR THE REMOVAL OF ALL DEMOLITION DEBRIS FROM PREMISES UNLESS OTHERWISE NOTED.</div> <div>17. CONTRACTOR SHALL BERESPONSILE FOR CLEANING THE JOB SITE AT THE COMPLETION OF THE WORK. CLEANING SHALL INCLUDE INTERIOR WINDOWS, FLOOR COVERING, WALLS, DOORS, FRAMES, HAREWARE, CABINETRY, CEILINGS, LIGHT FIXTURES AND LENSE, GRILLES AND SWITCHPLATES.</div>		<div>OCCUPANY LOAD CALCULATION</div> <div>KITCHEN AREA - 1,640 SQ. FT. - 8</div> <div>(200 SQ. FT. PER PERSON)</div> <div>BOTH REST ROOMS - 250 SQ FT - 2</div> <div>(100 SQ. FT. PER PERSON)</div> <div>SEATING AREA - 2,624 SQ. FT. - 175</div> <div>(15 SQ. FT. PER PERSON)</div> <div>TOTAL OCCUPANY - 185</div>		<div>CONSTRUCTION TYPE: VI</div> <div>OCCUPANCY TYPE: A</div> <div>OCCUPANCY LOAD : 185 MAX.</div> <div>ALTERATION FLOOR AREA: 5,208 SQ. FT.</div> <div>STORIES: SINGLE</div> <div>AUTO SPRINKLERS: NO</div>	
APPLICABLE CODES		SCOPE OF WORK:		INDEX OF DRAWINGS					
				<div>T-1.0 - TITLE SHEET & SITE PLAN</div> <div>A-1.0 - EXITING PLAN</div> <div>A-2.0 - DEMOLITION PLAN</div> <div>A-3.0 - NEW WALL CONSTRUCTION PLAN</div> <div>A-4.0 - REFLECTED CEILING PLAN</div> <div>A-5.0 - EXTERIOR ELEVATIONS</div> <div>A-6.0 - EXTERIOR ELEVATIONS</div> <div>FS-1 - FOOD SERVICE EQUIPMENT FLOOR PLAN</div> <div>FS-2 - FOOD SERVICE EQUIPMENT SCHEDULE</div> <div>FS-3 - FOOD SERVICE EQUIPMENT ELECTRICAL PLAN</div> <div>FS-4 - FOOD SERVICE EQUIPMENT PLUMBING PLAN</div>					
<div>2020 FLORIDA BUILDING CODE</div> <div>2020 FLORIDA PLUMBING CODE</div> <div>2020 FLORIDA MECHANICAL CODE</div> <div>2020 FLORIDA FUEL GAS CODE</div> <div>2020 FLORIDA ENERGY CONSERVATION CODE</div> <div>2020 FLORIDA ACCESSIBILITY CODE</div> <div>2018 NATIONAL ELECTRIC CODE - N.E.C.</div>		<div>REMOVE EXISTING SIGNAGE AND REPAIR WALL</div> <div>REMOVE EXISTING FOOD SERVICE EQUIPMENT AND FURNISHINGS</div> <div>REPAIR EXTERIOR WALLS AND READY FOR PAINTING</div> <div>PAINT BUILDING EXTERIOR AS INDICATED</div> <div>INSTALL NEW EXTERIOR SIGNAGE</div> <div>REPAIR INTERIOR WALL AND FLOORS READY FOR NEW SURFACES.</div> <div>INSTALL NEW FOOD SERVICE EQUIPMENT AND FURNISHINGS</div>							

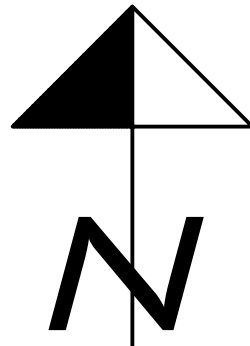
230 N.W. PEACOCK BLVD.



VICINITY MAP



SITE PLAN



JIMMY POWERS, RA
PROFESSIONAL ARCHITECT
12035 COLWICK
SAN ANTONIO, TX 78216

DENNY'S
REMODEL

230 N.W. Peacock Blvd.
Port St. Lucie, Florida 34986

PROJECT:

NO.	DATE	DESCRIPTION

ISSUE: 28 FEBRUARY 2022

PROJECT NO:

FILE:

DRAWN BY: R.M.

CHECKED BY: W.R.

TITLE SHEET
&
SITE PLAN

T-1.0