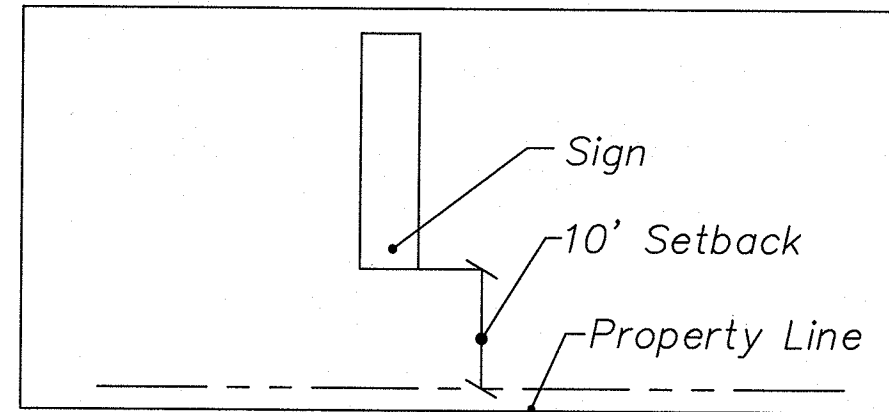


Location Map

NOTE:
Perimeter landscape is being effected by installation of new wall and/or repair of existing. Impact of adjacent residential landscaping (occurring on Town Centre property) will be minimized.

Any landscape occurring on the west side of the wall is and will be the responsibility of the adjacent homeowner.



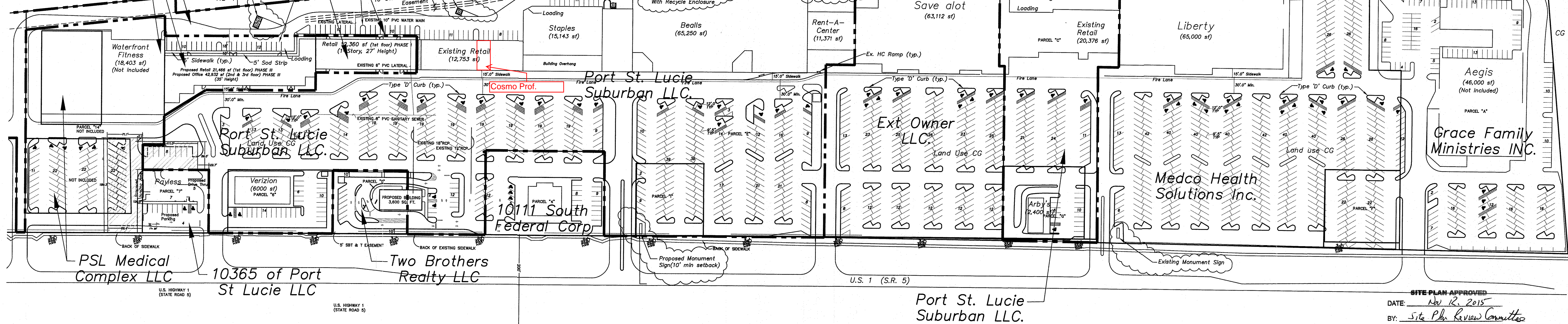
Proposed Sign Detail

720 s.f. Building Expansion
(360 s.f. per floor)

Port St. Lucie Suburban LLC.

PSL Town Center
2005 North LLC
JC Medical Condo
Association LLC

DRAINAGE R/W (P.B. 13, PG. 11-11C)



Site Data:

Existing Zoning _____ PUD
Existing Land Use _____ CG
Total Site Area 28.36 ac (1,235,380 sf)
Previously Approved Retail/Office Space 416,734 sf
Additional Retail/Office Space Proposed 720 sf
Total Retail Space 361,429 sf
Total Office Space 56,025 sf
Total Parking Required 1,670 spaces
Total Parking Provided 1,714 spaces
Handicap Spaces Provided 69 spaces
Typical Spaces Provided 1,645 spaces

Parking Note:
One space per 300 square feet of gross floor area.

Legal Description:

Being a Tract of Land in Section 12, Township 37 South, Range 40 East, St. Lucie County, Florida.
This project was previously approved on February 23, 2004, City Project No P03-430.
Please refer to Boundary Survey Sheet 1-b of 9 Sheets prepared by Betsy Lindsay, Inc. in that project file.

NOTES:
Please refer to survey by Betsy Lindsay, Inc. for all utility information.
Architectural design standards shall be compatible and harmonious with the existing Town Centre development.
No net increase in impervious area.

All dumpsters are required to be located in dumpster enclosures.

Drainage Statement:

The Town Centre Project is proposed to fill in currently vacant parcels of the original Town Centre development in Port St. Lucie, Florida.

A master storm water management system for the entire development area was completed in concert with the original portions of the project in the late 1980's. The master system was designed to accommodate development of the remaining parcels in accordance with the permitting requirements at the time of the original development.

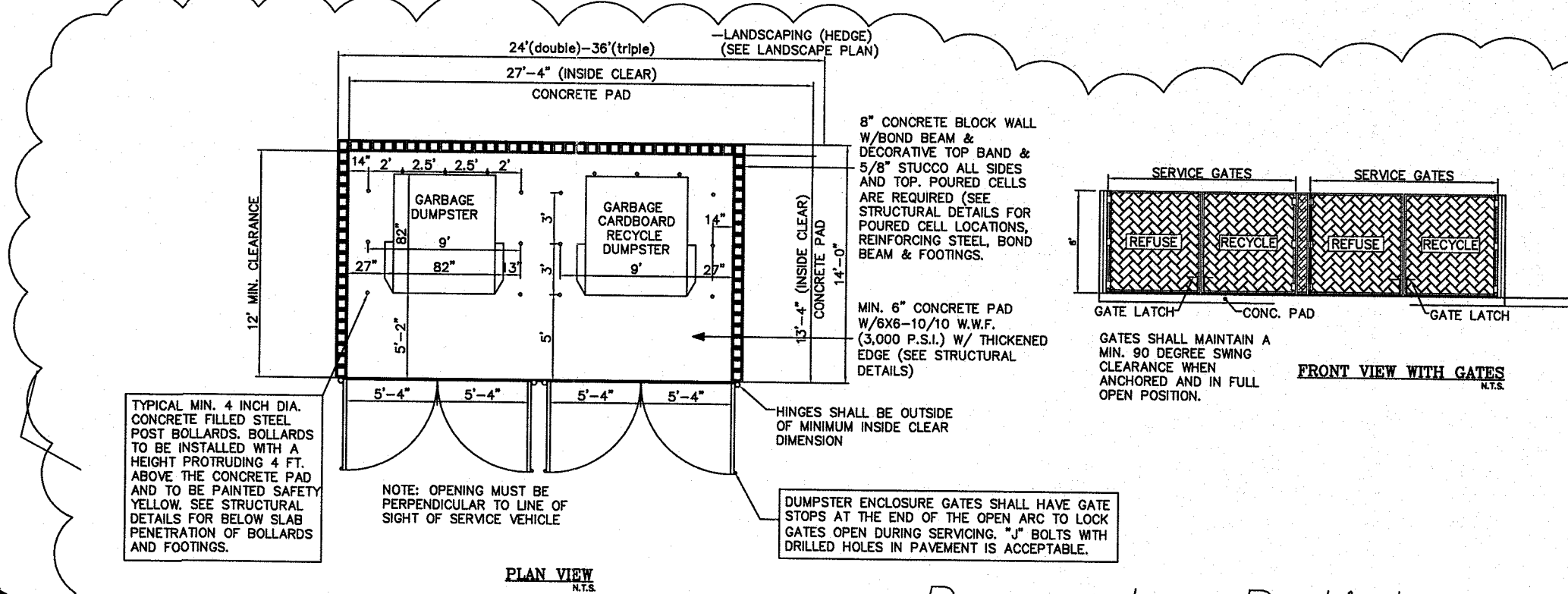
This in-fill construction will complete the development and is consistent with the original development plans. The drainage system for the proposed buildings in place and conveys runoff directly to the master storm water management system for treatment and attention. Accordingly, there will be no adverse impacts to drainage conditions for the Town Centre parcel.

Traffic Statement:

Based on trip generation rates from ITE the additional square footage proposed will generate a total of 4,150 trips per day. Based on trip distribution rates and the degree to which this traffic is minimized by internal capture and passerby capture the level of service is well below any threshold that will be quantifiable. The overall impact on traffic operations, representing on 2 vehicles per signal cycle, within the immediate vicinity will be negligible.

Site Data	Acerage	Square Footage	Percent %	Percent % change
Gross Site Area	28.36	1,235,380	100	0
Impervious Area	26.7	1,161,645	94	0
Building Coverage	5.2	224,585	18	0
Pavement & Sidewalk	21.5	937,060	76	0
Pervious Area	1.7	73,735	6	0

NOTE:
This Site Data information pertains only to the 28.36 acre client site. Proposed building footprint square footage has been previously approved

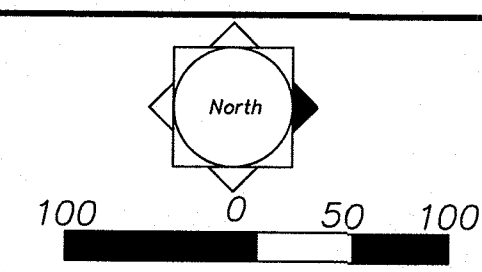


Dumpster Detail

City of Port St. Lucie# P15-178

Scale: 1"=100'	11.12.15 SPRCM Conditional Approval
Drawn by: JL/SG	12.3.15 Final Response
Checked by: SG	
CADD No.: #15-765	
Date: 10.20.15	No. Date Description of Revision

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Development Team:
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Stuart, FL 34995, 772-286-6292
Landscape Architect:
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701 East Ocean Boulevard
Stuart, FL 34994

Lucido & Associates, P.A.
Land Planning/Landscape Architecture
701 East Ocean Boulevard Stuart, FL 34994

Town Centre
City of Port St. Lucie
Site Plan Building Expansion

Sheet
1
of
1