

Location Map

Site Data:

Existing Zoning	PUD
Existing Land Use	CG
Total Site Area	28.36 ac (1,235,380 sf)
Previously Approved Retail/Office Space	416,734 sf
Additional Retail/Office Space Proposed	720 sf
Total Retail Space	361,429 sf
Total Office Space	56,025 sf
Total Parking Required	1,670 spaces
Total Parking Provided	1,714 spaces
Handicap Spaces Provided	69 spaces
Typical Spaces Provided	1,645 spaces

Parking Note:
One space per 300 square feet of gross floor area.

Legal Description:

Being a Tract of Land in Section 12, Township 37 South, Range 40 East, St. Lucie County, Florida. This project was previously approved on February 23, 2004, City Project No P03-430. Please refer to Boundary Survey Sheet 1-b of 9 Sheets prepared by Betsy Lindsay, Inc. in that project file.

Drainage Statement:

The Town Centre Project is proposed to fill in currently vacant parcels of the original Town Centre development in Port St. Lucie, Florida.

A master storm water management system for the entire development area was completed in concert with the original portions of the project in the late 1980's. The master system was designed to accommodate development of the remaining parcels in accordance with the permitting requirements at the time of the original development.

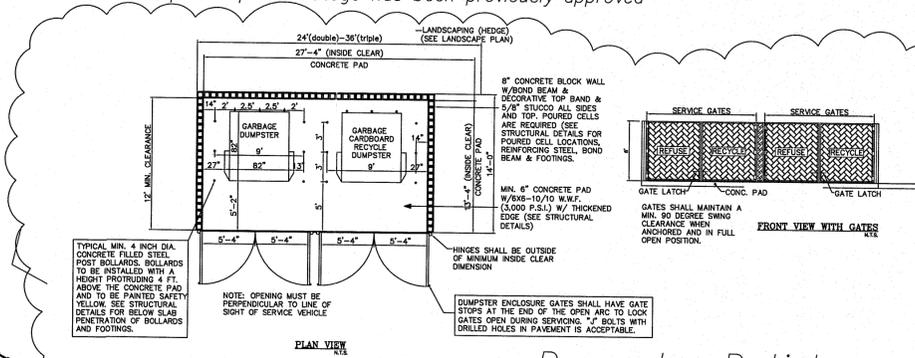
This in-fill construction will complete the development and is consistent with the original development plans. The drainage system for the proposed buildings in place and conveys runoff directly to the master storm water management system for treatment and attention. Accordingly, there will be no adverse impacts to drainage conditions for the Town Centre parcel.

Traffic Statement:

Based on trip generation rates from ITE the additional square footage proposed will generate a total of 4,150 trips per day. Based on trip distribution rates and the degree to which this traffic is minimized by internal capture and passerby capture the level of service is well below any threshold that will be quantifiable. The overall impact on traffic operations, representing on 2 vehicles per signal cycle, within the immediate vicinity will be negligible.

Site Data	Acerage	Square Footage	Percent %	Percent % change
Gross Site Area	28.36	1,235,380	100	0
Impervious Area	26.7	1,161,645	94	0
Building Coverage	5.2	224,585	18	0
Pavement & Sidewalk	21.5	937,060	76	0
Pervious Area	1.7	73,735	6	0

NOTE:
This Site Data information pertains only to the 28.36 acre client site. Proposed building footprint square footage has been previously approved



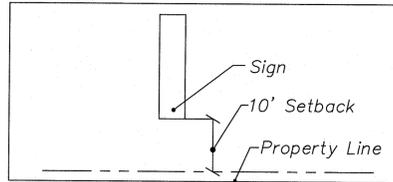
Dumpster Detail

NOTE:
Perimeter landscape is being effected by installation of new wall and/or repair of existing. Impact of adjacent residential landscaping (occurring on Town Centre property) will be minimized.

Any landscape occurring on the west side of the wall is and will be the responsibility of the adjacent homeowner.

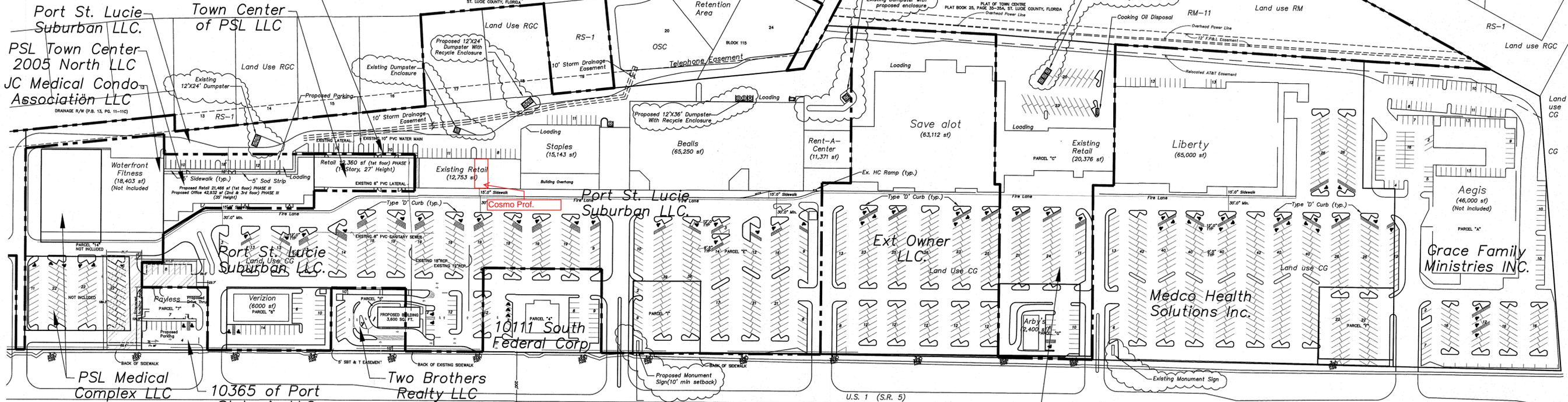
NOTES:
Please refer to survey by Betsy Lindsay, Inc. for all utility information. Architectural design standards shall be compatible and harmonious with the existing Town Centre development. No net increase in impervious area.

All dumpsters are required to be located in dumpster enclosures.



Proposed Sign Detail

720 s.f. Building Expansion
(360 s.f. per floor)



SITE PLAN APPROVED

DATE: Nov 12, 2015

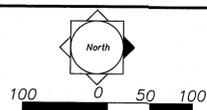
BY: Site Plan Review Committee

CONDITIONS ATTACHED: YES NO

City of Port St. Lucie# P15-178

Scale:	1"=100'	
Drawn by:	JL/SG	
Checked by:	SG	
CADD No.:	#15-765	
Date:	10.20.15	
No.	Date	Description of Revision
11.12.15		SPRCM Conditional Approval
12.3.15		Final Response

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Development Team:
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Town Centre
City of Port St. Lucie
Site Plan Building Expansion