

PARKING CALCULATIONS:

PARKING REQUIRED:

2 SPACES PER CLASSROOM
7 CLASSROOMS x 2 SPACES = 14 SPACES

2,270 S.F. ASSEMBLY AREA
1 SPACE / 40 S.F. ASSEMBLY AREA
2,270 / 40 = 57 SPACES

PARKING REQUIRED = 57 SPACES (3 HC)
PARKING PROVIDED = 57 SPACES (4 HC)
(CHURCH AS MAIN USE, USES OCCUR SEPARATELY, SO ONLY PARKING FOR MOST INTENSE USE IS REQUIRED)

DRAINAGE SYSTEM:
DRAINAGE SYSTEM CONSISTS OF A DRY DETENTION AREA WITH DISCHARGE TO THE FLORESTA DRIVE SWALE. SFVMD CRITERIA FOR WATER QUALITY AND QUANTITY TREATMENT HAS BEEN PROVIDED.

TRAFFIC STATEMENT:
INSTITUTE OF TRANSPORTATION ENGINEERS TRIP GENERATION, 10th EDITION

PRIVATE SCHOOL (530)
(AVERAGE RATES UTILIZED)

WEEKDAY DAILY TRIPS:	AVERAGE RATE	# OF STUDENTS	TRIPS
PRIVATE SCHOOL (530)	4.11/STUDENT	180	= 740

A.M. PEAK HOUR OF GENERATOR:
PRIVATE SCHOOL (530)

1.01/STUDENT	180	= 182
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P.M. PEAK HOUR OF GENERATOR:
PRIVATE SCHOOL (530)

0.60/STUDENT	180	= 108
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UPLAND PRESERVE REQUIREMENTS:
PROJECT AREA: 117,680 S.F. (2.702 AC.)
EXISTING UPLANDS: 13,600 S.F. (0.312 AC.)
(EXISTING UPLANDS WERE MITIGATED DURING PHASE I APPLICATION)

CONSTRUCTION SCHEDULE:
(ESTIMATED)
START CONSTRUCTION: DECEMBER 2022
END CONSTRUCTION: DECEMBER 2023

LEGEND

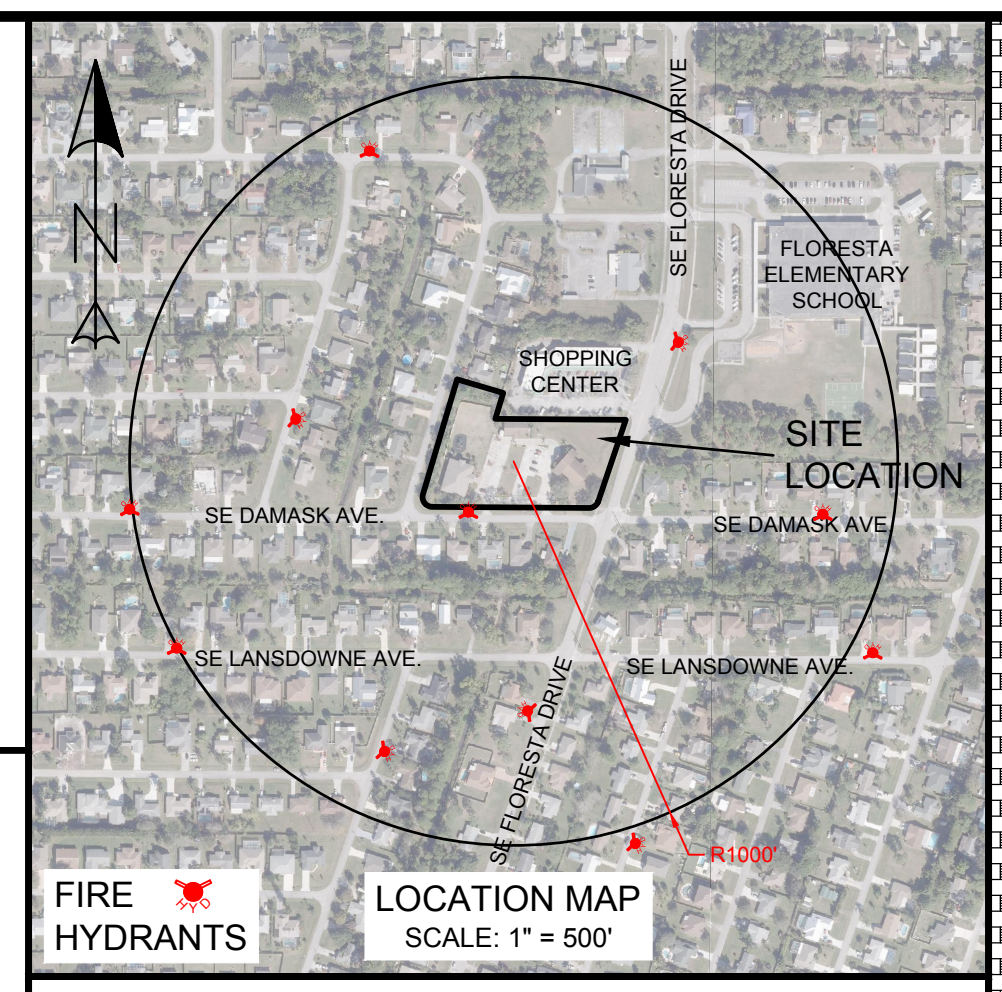
ME	EXISTING METER	✱ #	EX. PALM TREE TO REMAIN # - TREE TAG
ME	PROPOSED METER	✱ #	EX. PINE TREE # - TREE TAG
7	PROPOSED SIGN	✱ #	EX. OAK TREE TO BE REMOVED. # TREE TAG.
7	BLOCK NUMBER	✱ #	EX. PALM TREE TO BE REMOVED. # - TREE TAG.
MITERED END SECTION		✱ #	EX. PINE TREE TO BE REMOVED. # - TREE TAG.
HANDICAP STALL			EXISTING CONCRETE
S1 MH: 17"	LIGHT FIXTURE TAG, HEIGHT OF FIXTURE.		EXISTING PAVEMENT
9	PARKING STALL TAG # OF STALLS		PROPOSED HEAVY DUTY ASPHALT
			PROPOSED STANDARD ASPHALT
EX. OAK TREE TO REMAIN # - TREE TAG			PROPOSED CONCRETE

- SITE PLAN NOTES:**
- THIS APPLICATION IS NOT VESTED FOR ANY MUNICIPAL FEES. ALL FEES ARE CALCULATED AT TIME OF PAYMENT. THIS INCLUDES SPECIFICALLY IMPACT FEES, UPLAND PRESERVE FEES, AND ANY ADMINISTRATIVE REVIEW FEES FOR CITY DEPARTMENTS. NO FEES ARE VESTED BASED ON DATE OF CITY COUNCIL APPROVAL.
 - LIGHTS SHALL BE SHIELDED TO DIRECT ANY GLARE AWAY FROM ADJACENT PROPERTIES OR STREETS & WILL CONFORM WITH CHAPTER 158.221 OF THE PSL CITY CODE.
 - TREES WILL BE PRESERVED AND/OR MITIGATED IN ACCORDANCE WITH SEC. 153.16 OF THE LANDSCAPE CODE.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW, UNLESS OTHERWISE PERMITTED THROUGH AN APPROVED VARIANCE FROM PSL.
 - THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).
 - ALL PERMANENT MONUMENT SIGNS SHALL BE REVIEWED SEPARATELY AND RECEIVE PLAN APPROVAL BY THE PLANNING AND ZONING AND BUILDING DEPARTMENTS PER CHAPTER 155.

**APPROVED BY CITY OF PORT ST. LUCIE
CITY COUNCIL**

CONDITIONS: YES ☒ NO ☐

DATE: January 23, 2023



LEGAL DESCRIPTION

PER WARRANTY DEED RECORDED IN OFFICIAL RECORD BOOK 0279, PAGE 2804, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LOTS 5, 6, 7, 8, AND TRACT "B", BLOCK 449, PORT ST. LUCIE SECTION 10, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGE 49 AND 49A THROUGH 49G OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING 117,680 SQUARE FEET OR 2.702 ACRES, MORE OR LESS, SECTION 03, TOWNSHIP 37 SOUTH, RANGE 40 EAST

PARCEL ID #: 3420-645-0055-000-3

PROJECT NAME: CHRIST LUTHERAN SCHOOL

PROJECT ADDRESS: 1592 SE FLORESTA DR.

PROPOSED USE: SCHOOL

OWNER: CHRIST EVANGELICAL LUTHERAN CHURCH OF ST. LUCIE COUNTY, INC. 1592 SE FLORESTA DR. PORT ST. LUCIE, FL 34983

DEVELOPER: RICHARD K. DAVIS CONSTRUCTION CORP. CONTACT: DOUGLAS DAVIS 4205 METZGER ROAD FORT PIERCE, FL 34947 (772) 461-8335

ARCHITECT: FARMER ARCHITECTURE, INC. 941 LAKE BALDWIN LANE ORLANDO, FL 32814 (321) 441-3320

SURVEYING: VELCON ENGINEERING & SURVEYING 1448 NW COMMERCE CENTRE DRIVE PORT ST. LUCIE, FL 34986 (772) 879-0477

ENGINEERING: ENGINEERING DESIGN & CONSTRUCTION INC. CONTACT: R.J. KENNEDY, P.E. 10250 SW VILLAGE PARKWAY, SUITE 201 PORT ST. LUCIE, FL 34987 (772) 462-2455

PLANNING: ENGINEERING DESIGN & CONSTRUCTION INC. CONTACT: BRADLEY J. CURRIE, AICP 10250 SW VILLAGE PARKWAY, SUITE 201 PORT ST. LUCIE, FL 34987 (772) 462-2455

SITE DATA

FUTURE LAND USE: ZONING:	I
GROSS SITE AREA	117,680 S.F. (2.702 AC) = 100.00%
IMPERVIOUS AREA	48,630 S.F. (1.116 AC) = 41.32%
EXISTING CHURCH	3,575 S.F. (0.082 AC) = 3.04%
EXISTING FELLOWSHIP HALL	1,805 S.F. (0.041 AC) = 1.53%
EXISTING SHED	174 S.F. (0.004 AC) = 0.15%
EXISTING CLASSROOM	4,982 S.F. (0.114 AC) = 4.23%
PROPOSED CLASSROOM	6,243 S.F. (0.144 AC) = 5.31%
EXISTING CONCRETE	24,479 S.F. (0.562 AC) = 20.80%
PROPOSED CONCRETE	176 S.F. (0.004 AC) = 0.15%
PROPOSED PAVERS	495 S.F. (0.011 AC) = 0.42%
EXISTING GRASS PARKING	6,701 S.F. (0.154 AC) = 5.69%
PERVIOUS AREA:	69,050 S.F. (1.585 AC) = 58.68%
OPEN SPACE AREA	44,974 S.F. (1.032 AC) = 38.22%
DRY DETENTION AREA	10,476 S.F. (0.241 AC) = 8.90%
UPLAND PRESERVE	13,600 S.F. (0.312 AC) = 11.56%
WETLANDS	0 S.F. (0.000 AC) = 0.00%
WETLAND BUFFERS	0 S.F. (0.000 AC) = 0.00%

BUILDING INFO:

BUILDING SETBACKS:

I (INSTITUTIONAL)	
FRONT BUILDING SETBACK	(25')
SIDE BUILDING SETBACK	(10')
SIDE CORNER BUILDING SETBACK	(25')
REAR BUILDING SETBACK	(25')

BUILDING DATA:

EXISTING SANCTUARY BUILDING	= 3,638 S.F.
(ASSEMBLY AREA = 2,270 S.F.)	
EXISTING FELLOWSHIP HALL	= 1,805 S.F.
EXISTING CLASSROOM	= 4,982 S.F.
PROPOSED CLASSROOM	= 6,243 S.F.
GROSS FLOOR AREA	= 16,668 S.F.

BUILDING HEIGHT:
ONE STORY (HEIGHT 35 FT. MAX.)

PROVIDER OF UTILITIES:
WATER: PSLUSD
WASTEWATER: PSLUSD

HAZARDOUS WASTE:
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

WELLFIELD PROTECTION ORDINANCE:
THIS PROJECT IS NOT LOCATED IN A PUBLIC WATER SUPPLY WELLFIELD PROTECTION ZONE.

ENGINEERS & SURVEYORS ENVIRONMENTAL

**10250 SW VILLAGE PARKWAY SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455**

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9835
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY: RWT
DRAWN BY: RWT
22-246 (11-02-2022).dwg
FILE NAME: 22-246
SITE PLAN
LAYOUT
1" = 50'
SCALE
15 JUNE 2022
DATE

**CHRIST LUTHERAN SCHOOL
PHASE 2 CLASSROOMS
SITE PLAN AMENDMENT**

**FLORIDA
PORT ST. LUCIE**

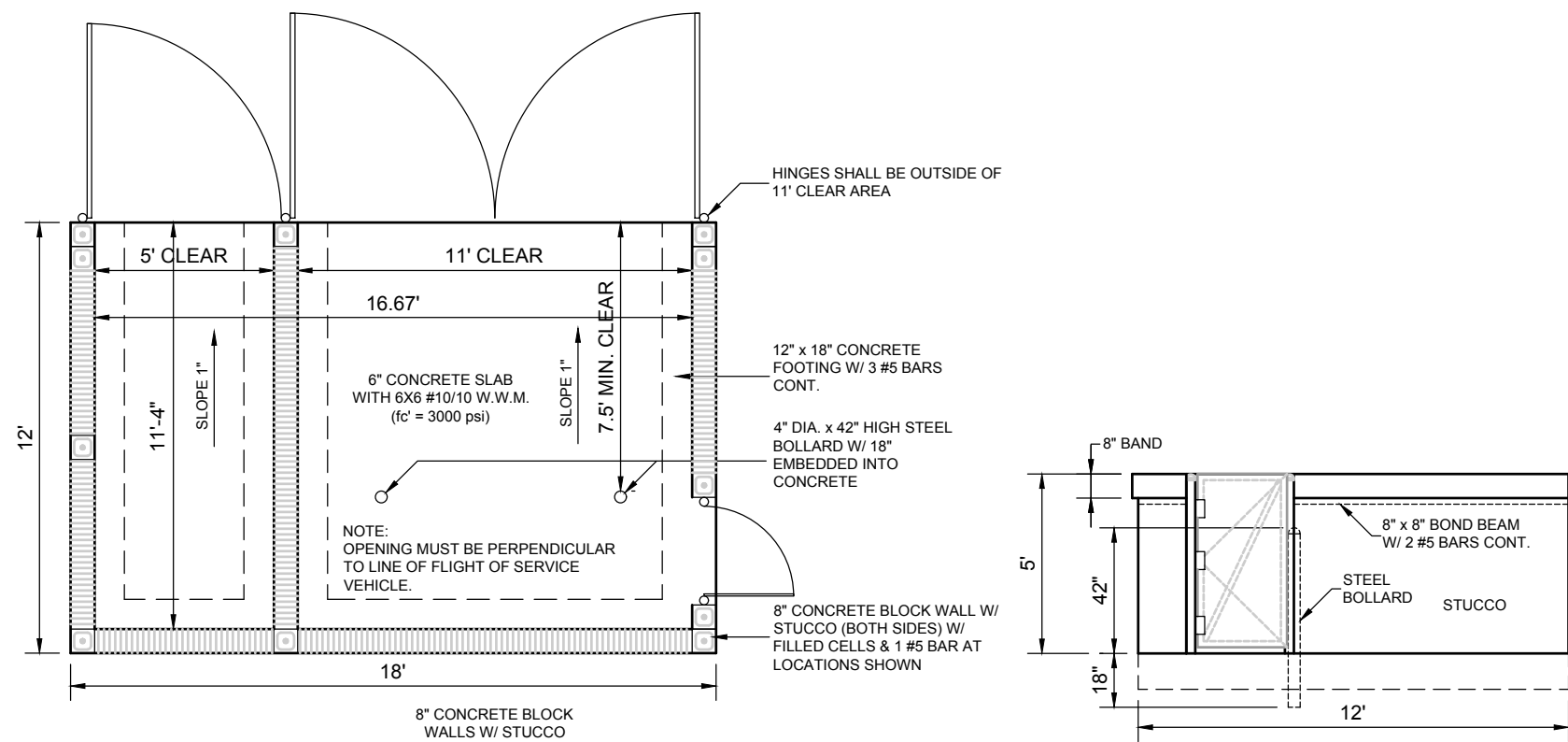
**J.R. HARRISON, P.E. (DATE)
#82270**

**10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455**

22-246

1 OF 2

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



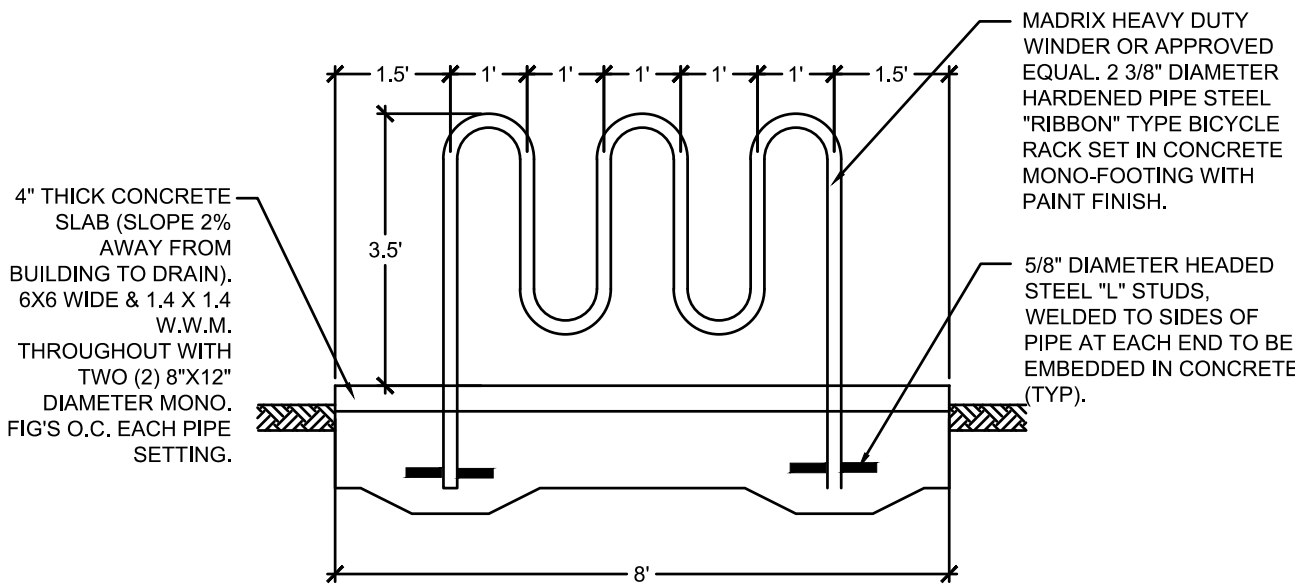
EX. 18' x 12' DUMPSTER DETAIL
N.T.S.



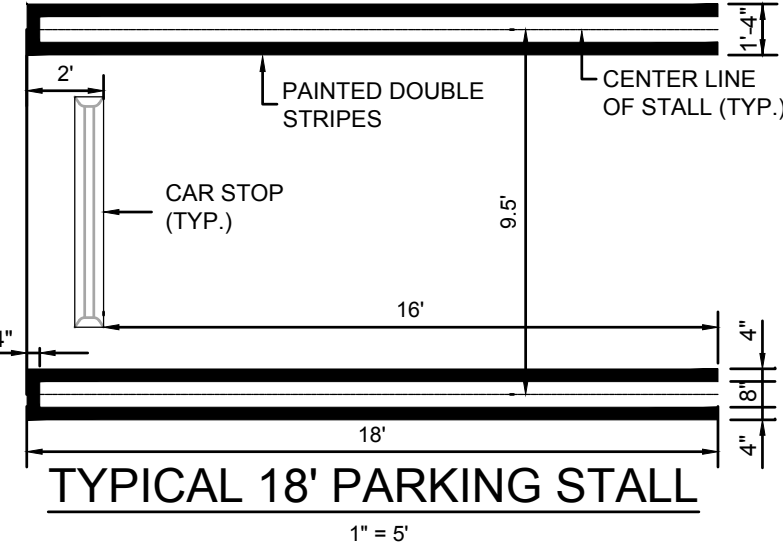
"LANDSCAPEFORMS - CHASE PARK LITTER"

TRASH RECEPTACLE DETAIL

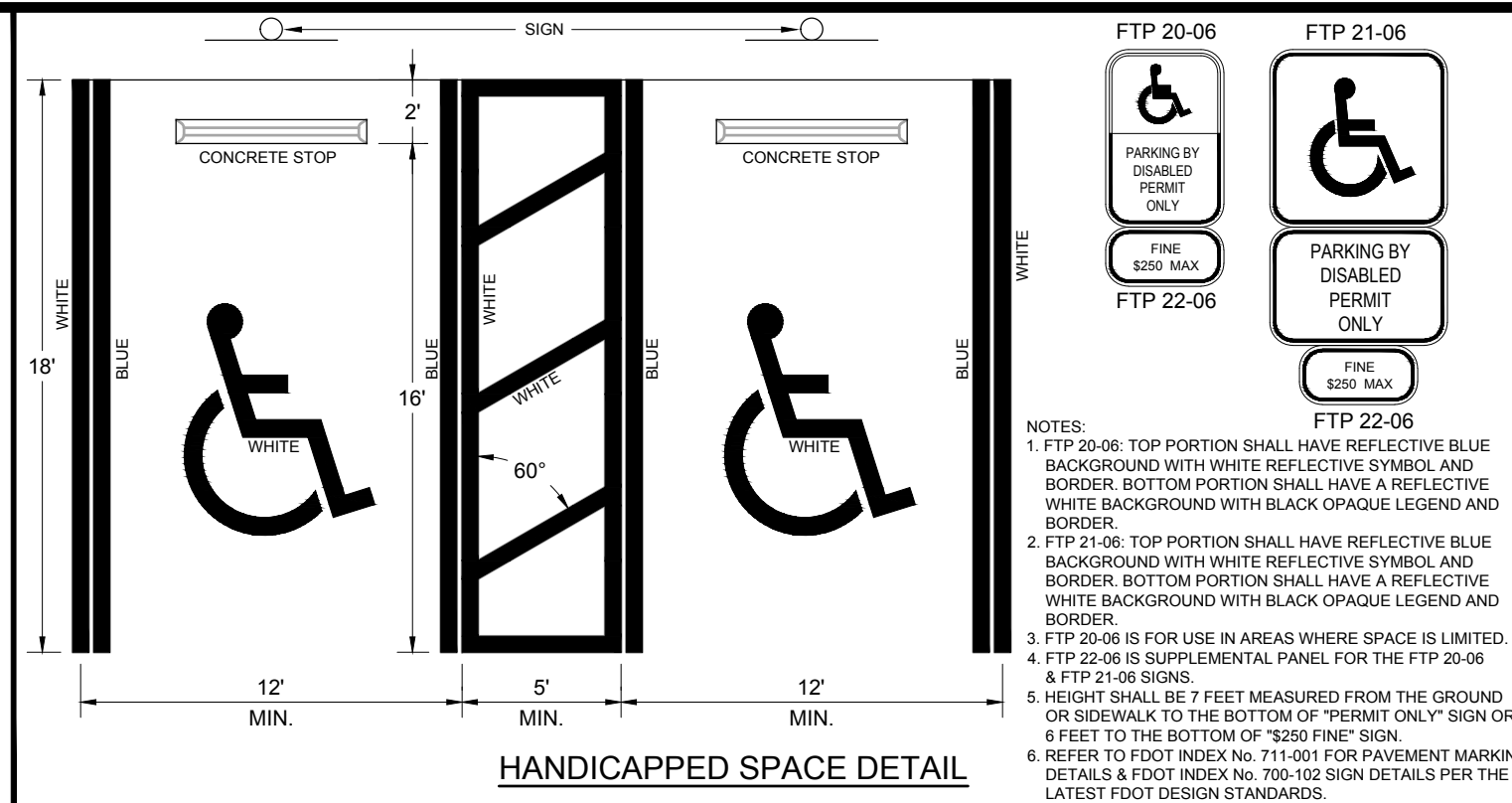
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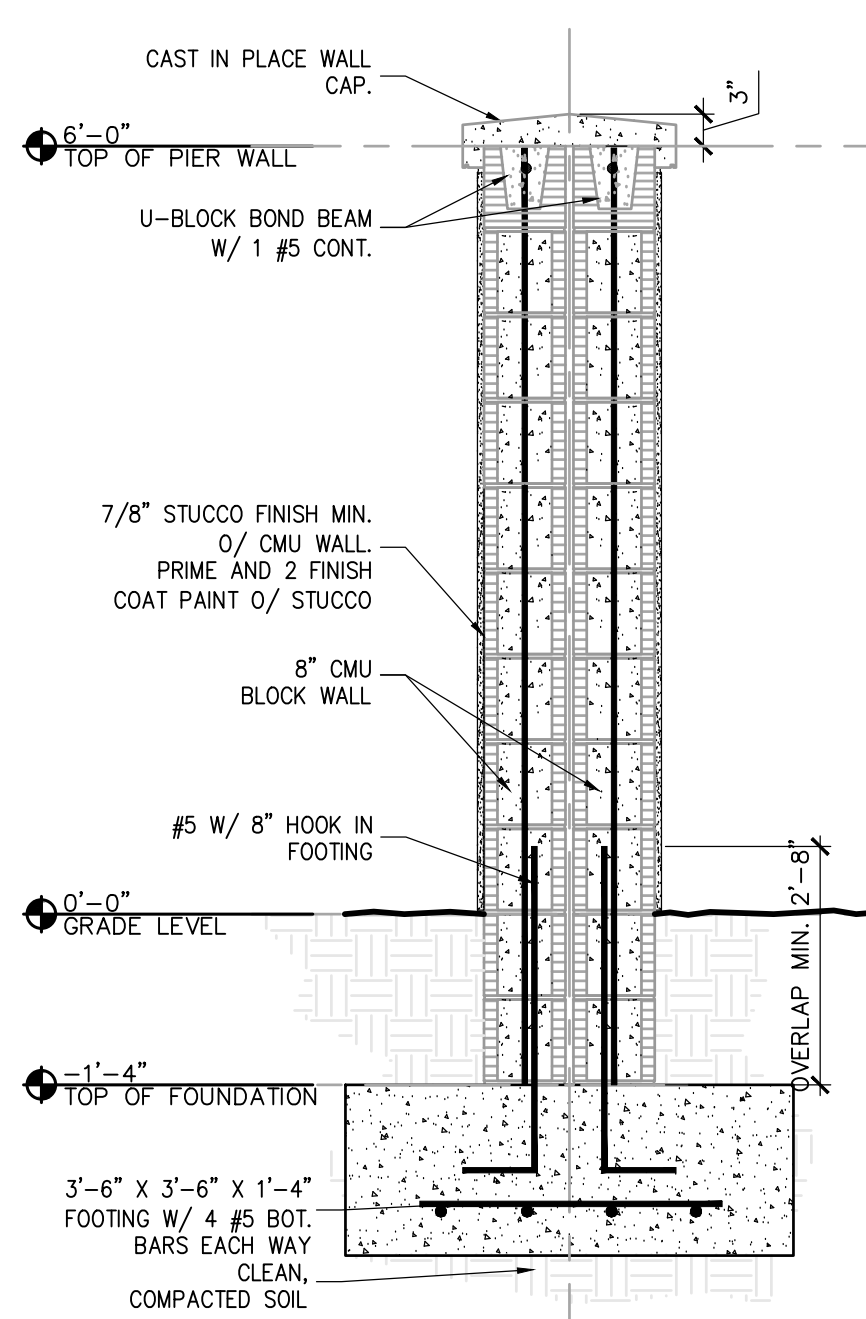
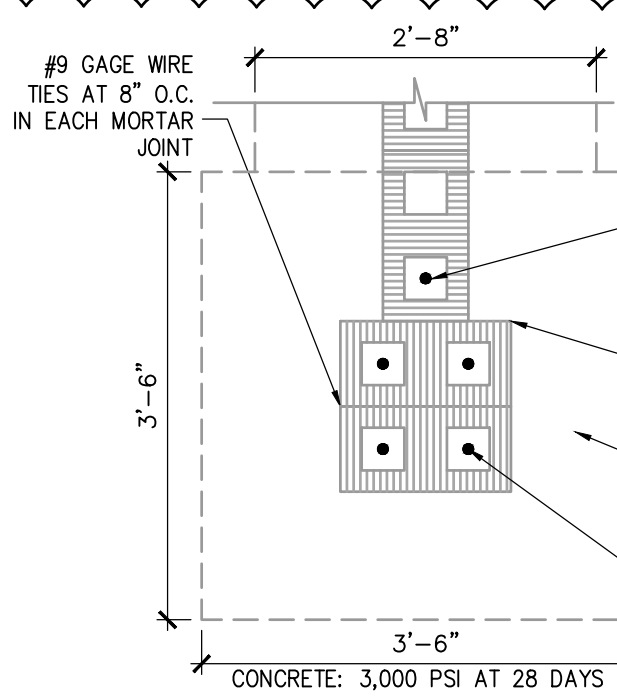
TYPICAL BIKE RACK DETAIL
N.T.S.



TYPICAL 18' PARKING STALL



HANDICAPPED SPACE DETAIL



WALL DETAIL
(BY OTHERS)



10250 SW VILLAGE PARKWAY
SUITE 201
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772-462-2455

www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9335
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY	RFV
DRAWN BY	RFV
FILE NAME	22-246 (11-02-2023).dwg
SITE DETAILS	LAYOUT
SCALE	1" = 5'
DATE	15 JUNE 2022

DATE	REVISION COMMENTS
11-08-2023	ADDED TRASH CAN & DETAIL TO PLANS PER SPRC COMMENTS (11-2023)
11-08-2023	REVISED SITE PLAN PER SPRC COMMENTS

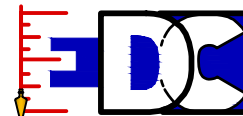
CHRIST LUTHERAN SCHOOL
PHASE 2 CLASSROOMS

SITE PLAN AMENDMENT DETAILS

FLORIDA

PORT ST. LUCIE

J.R. HARRISON, P.E. (DATE)
#82270



10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

PSL PROJECT NO.
P14-148-A1
PSLUSD FILE NO.
11-371-00

811
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22-246

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