

# TRADITION

## Master Sign Program

7<sup>th</sup> Amendment

~~June 10, 2021~~

January 31, 2023

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### **City of Port St. Lucie Application #P-16-042-A2**

#### Revision/ Approval Timeline:

Date:	Action:
02.14.05	City Council Approval (ordinance 05-12)
01.22.07	City Council Approval – 1 <sup>st</sup> amendment (ordinance 07-02)
06.11.07	City Council Approval – 2 <sup>nd</sup> amendment (ordinance 07-68)
06.09.08	City Council Approval – 3 <sup>rd</sup> amendment (ordinance 08-45)
	City Council Approval – 4 <sup>th</sup> amendment (ordinance 13-33)
09.12.16	City Council Approval – 5 <sup>th</sup> amendment (ordinance 16-042)
<del>07.05.17</del>	<del>Updated Contact Information</del>
01.24.22	City Council Approval – 6 <sup>th</sup> amendment (ordinance 21-121)

(Images and specific signs shown in this document have been prepared by Lucido & Associates or other consultants employed by the developer)

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# Introduction

This Master Sign Program provides a comprehensive overview of all signs within The Tradition Community. The Tradition Community consists of Tradition, Southern and Western Grove. The Program is composed of three major sections – Community Signs, New Development Signs, and ~~Photograph Image References, along with supplemental Exhibits.~~ The first section describes Community Signs provided by Tradition. The second section provides sign guidelines for those developing projects within The Tradition Community. The third section displays various examples of sign types described throughout the master sign program.

## Procedure

All proposed signs, prior to application for a sign permit from City of Port St. Lucie, must be approved in writing by the Tradition Design Review Committee (TDRC) which will review signs based on the criteria that follows. Letter of Approval by the TDRC is to be used for obtaining City of Port St. Lucie sign permits. No sign permit shall be allowed without a TDRC Letter of Approval and stamped plans. All applicants shall familiarize themselves with and obtain a copy of the current review fees from the TDRC. 10807 SW Tradition Square, Port St. Lucie, FL 34987, 772-345-5101, [www.traditioncommunityassc.com](http://www.traditioncommunityassc.com).

## Background

~~The sign guidelines in this manual supersede existing City of Port St. Lucie codes and ordinances and any adopted city side design standards. Existing city codes shall be used for sign criteria not addressed in this program. by the TDRC.~~

## General Requirements (Apply to all categories within these guidelines.)

### Utility Setbacks:

All structures, including signs, shall be installed a minimum of 10 feet horizontally from all mains (water, gravity, sewer, force and City owned reclaimed water). The 10 foot horizontal setback shall be as measured from the outside edge of the pipe to the nearest point of the structure, including underground (footers for example) or above ground (roof overhangs for example) features. Single or double post community directional and/or informative signs occurring within the rights-of-ways may encroach within these setbacks with Utility Department approval. Those mains installed between structures shall have a 15-foot setback on each side. Additionally, where deep mains are installed, those greater than 9 feet, between structures, the Utility may, at its discretion, require additional horizontal setback.

### Sign Area Calculations:

Tradition community seals and “Tradition” community name are encouraged to be used throughout the sign program. These decorative theme reinforcing elements shall not be counted in allowable square-footage or sign face square footage calculations. The “allowable sign area” shall include the entire area within a circle, rectangle or triangle enclosing the extreme limits of writing, forming an integral part of the display or used to differentiate the sign from the background against which it is placed; excluding the necessary supports or uprights on which such sign is placed. (see diagram on following page)



*Allowable Sign Area Exhibit*

-Maximum allowable sign areas are per face, ~~per structure~~.

#### Sign Location & Setback:

All signs shall maintain a 10' setback from rights-of-way with the exception of those signs specifically designed to occur within road rights-of-way. Signs shall meet FDOT standards. Any sign located within the road rights-of-way will require approval from the City Engineering Department. Any signs occurring within FDOT Limited Access Right-of-way shall require approval from FDOT prior to sign permits being issued.

#### Community Building/Civic Structures Places of Significant Impact:

Civic buildings and/or structures such as schools/~~universities~~, fire stations, ~~hospitals~~, post offices, police stations, and community centers may have additional and/or modified signage due to the significance and location of the proposed facility and the integration of the signage into a community focal point. Additional and/or modified signs for civic buildings will be allowed based on review and approval by the TDRC and the City of Port St. Lucie. City of Port St. Lucie approval shall be through the Site Plan Review Committee (SPRC) process and shall conclude with SPRC approval.

#### Height (Building Façade Signage):

No part of any sign affixed to a building shall exceed the height of the deck line to which the sign is affixed. No sign shall project above the deck line for mansard roofs. The portion of a mansard roof located below the deck line shall be eligible for placement of a façade sign. Façade signs are not limited to a placement height.

#### Size:

The dimensions used under the “size” category are meant as a general size range for the actual sign including all posts, supports, etc. necessary for the sign element. Signs may exceed these dimensions based on the final sign design and as an effort to allow creativity and flexibility in the sign program; however, “allowable sign area” may not be altered.

#### Electronic Changeable Copy Signs:

A sign or portion thereof that displays electronic, non-pictorial, text information in which each alphanumeric character, graphic, or symbol (numbers and letters only) is defined by a small number of matrix elements using different combinations of light emitting diodes (LED's), fiber optics, light bulbs or other illumination devices within the display area. Electronic changeable copy signs include computer programmable, microprocessor controlled electronic displays. Electronic changeable copy signs do not include official or time and temperature signs. Maximum 3 lines of

copy, limited to static messages/non-scrolling with a minimum of 24 hours between change of message. The sign shall have automatic dimmer software or solar sensors to control brightness for nighttime viewing and variations in daytime ambient light. The intensity of the light source shall not produce glare, the effect of which constitutes a traffic hazard or is otherwise detrimental to the public health, safety or welfare. Lighting from the message module shall not exceed six hundred (600) nits (candelas per square meter) between sunset and sunrise as measured from the sign's face. Lighting from the message module shall not exceed five thousand (5,000) nits or three tenths (0.3) foot candles over the ambient light, whichever is lower, between sunrise and sunset as measured from the sign's face. Permit applications for signs containing a digital electronic display shall include the manufacturer's specification sheet and maximum nit (candelas per square meter) rating.

NIT: A unit of illuminative brightness equal to one candela (12.5 lumens) per square meter, measured perpendicular to the rays of the source.

Digital Display Kiosk:

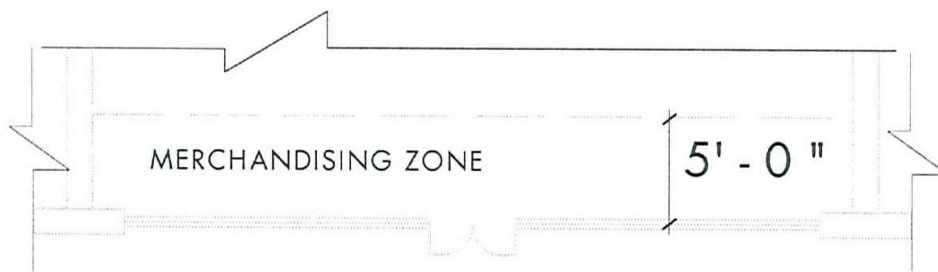
An Electronic Display Sign with the capability to communicate sequential messages. The message may include multiple lines of text information and incorporate the entire allowable sign area. Non-animated images or graphics may be incorporated to enhance the text message. The hold time of an individual message or display shall be no less than 8 seconds. Any change of message shall be completed immediately without pauses and all parts of the message shall change simultaneously. Animations and transitional effects between messages are prohibited.

Enforcement:

TDRC and/or the Master Developer Management Company shall be responsible for monitoring and enforcing the regulations for electronic and digital signage in the event of a complaint or operating issue. Annual inspections shall confirm digital signs are operating within acceptable parameters.

Merchandising Zone:

The Merchandising Zone is the front of the tenant space that extends from the lease line to all points 5'- 0" into the space and is subject to review and approval by the TDRC. The Merchandising Zone includes all display windows, retail graphics, display fixtures, materials, finishes, color and lighting fixtures within the area.



*Merchandising Zone Exhibit*

Address Incorporation:

Address to be incorporated in the sign design.

All new freestanding signs shall have an address incorporated in the sign design. Where applicable a range of numbers shall be shown e.g. 2840--2910. Existing signs shall be required to include this numbering upon applying for any change. All other existing signs shall be replaced or changed to include this information as of January 1, 2004. Numbering will not be included as part of the allowed

square footage. It shall be composed of numbers six (6) inches in height. Notification of this requirement to all existing businesses shall be included upon renewal of business tax. Commercial plazas shall include the name of the plaza on the primary sign.

Prohibited Signs (unless otherwise described in detail within this document):

~~-Flashing Sign~~

- Roof Sign

- Credit Card Sign

- Fraternal Organizations

- Bench Sign

- Portable Sign

- Snipe Sign

- 'V'- Shaped Sign

- Exposed Plywood

- Galvanized Sheet Metal

- Fluorescent Lit Sign

- Vacuum Formed Plastic

- Balloon/inflatable sign (Only as temporary event signs)

- ~~Permanent come on sign (sale today)~~

- Sign on vehicle parked permanently or overnight near a business

- Traffic sign replica

- "Human Sign"- Any individual or group of persons actively marketing a product, service and/or event by way of hand-held/portable signs at intersections or along roadways.

# Community Signs

Throughout the Community of Tradition, a series of signs are provided that identify the community and provide clear direction while echoing the character and materials of the community. The following pages in this section show these proposed signs.

Sign Type:	Locations:	Number of Signs Allowed:	Max Height/ Size:	Allowable Sign Area:	Lighting: Internal/ External
<b>Community Markers Tower</b>	Adjacent to I-95, key entries and boundary points. Northern Tower - Exists SW Discovery Way - Exists Becker Road - Proposed	<del>Four (4)</del> <u>Six (6)</u>	74'	100 SF (per face) Max. (4) faces - and/or text	Internal/ External
<b>Welcome Signs</b>	Crosstown Parkway, Tradition Parkway, Becker Road, Village Parkway, Parr Drive, North/South Road A, E/W #2,3, Westcliffe Lane, Fern Lake Drive, Community Blvd, Open View Road	Eight (8) total. One sign on each side of roadway, and/or one sign in median.	35'	72 <u>110</u> SF maximum per sign face.	Internal/ External
<b>Digital Display Kiosk</b>	<u>At trailheads, destinations or along the trail or within the trail</u>	<u>Twelve (12)</u>	<u>8'</u>	<u>150 SF</u>	<u>Internal/ External</u>
<b>Community Directional/ Informational</b>	All major public roadways.	Twenty Four (24)	12'	80 SF	External
<b>Primary Directional</b>	All major public roadways.	<del>Thirty (30)</del> <u>Forty-Eight (48)</u>	<del>8'</del> <u>12'</u>	36 SF	External
<b>Decorative Standards</b>	All Tradition roadways.	Varies. Based on selected poles along various roads within the community.	N/A	12.5 SF (30"x60") per face/side	Non-illuminated



# Signs for New Development

<u>Residential</u>					
Sign Type:	Locations:	Number of Signs Allowed:	Max Height/ Size:	Allowable Sign Area:	Lighting: Internal/ External
<b>Residential Primary Entry Sign</b>	Internal roadway medians and/or both sides of a residential entrance within the individual property.	(2) one sign on each side of roadway, or (1) one sign in median.	N/A	150 SF per sign face.	Internal/ External
<b>Residential Secondary Entry Sign</b>	Prominent intersections within neighborhoods throughout Tradition.	Max. 8 per subdivision. One sign on each side of roadway, and/or one sign in median.	16'	64 SF	Internal/ External
<b>Residential Neighborhood Monuments</b>	Prominent intersections within neighborhoods throughout Tradition.	Max. 8 per subdivision. One sign on each side of roadway, and/or one sign in median. Logo and Name only.	16'	64 SF	Internal/ External
<b>Residential Architectural Features</b>	Subdivision property and/or master developer property via recorded easement.	4 signs. Subdivision name and/or logo only.	45' (Structure) 30' (Signage on Structure)	64 SF	Internal/ External

<b><u>Residential (Cont'd)</u></b>					
<b>Sign Type:</b>	<b>Locations:</b>	<b>Number of Signs Allowed:</b>	<b>Max Height/Size:</b>	<b>Allowable Sign Area:</b>	<b>Lighting: Internal/External</b>
<b>Lot Marker</b>	On individual lots within sales center area and subdivision.	One (1) per lot. No City permit required. TDRC approval only.	6'	6 SF	Non-illuminated
<b>Construction Entrance Sign</b>	Construction entrances.	One (1) per construction entrance. No City permit required. TDRC approval only.	8' .	16 SF	Non-illuminated
<b>Model Home Sign</b>	On individual lots within sales center area.	One (1) per lot within sales area. No City permit required. TDRC approval only.	8'	16 SF	Non-illuminated
<b>Sales Center Sign</b>	On individual lots that contain staffed sales/model center and/or adjacent to Sales Center Entrance within the R/W.	One (1) per lot or entrance location.	8'	18 SF	External
<b>Event/Sales Banner</b>	Subdivision entrance drives and sales center entry drives (within the R/W). On each model home and/or sales center lot.	Two (2) Banners within 200' of community entrances or sales center entrance. One (1) Banner at road intersections within subdivision from entrance(s) and continuing to sales area.	17'	45 sf (maximum).	Non-illuminated
<b>Builder Sign</b>	Adjacent to community roadways (on subdivision property).	One (1) Per subdivision.	8'	32 SF per face.	Non-illuminated
<b>"Coming Soon" "Amenity" Interior Sign</b>	Interior locations within the subdivision such as the recreation or amenity parcel.	One (1) per major subdivision improvement such as clubhouse, recreation area or amenity parcel.	10'	80 SF per face.	External

<b><u>Residential (Cont'd)</u></b>					
<b>Sign Type:</b>	<b>Locations:</b>	<b>Number of Signs Allowed:</b>	<b>Max Height/ Size:</b>	<b>Allowable Sign Area:</b>	<b>Lighting: Internal/ External</b>
<b>Builder sales Sign</b>	Within subdivision property only and not visible from adjacent community roadways.	Max. (4) four per subdivision or plat.	4'	32 SF per face.	External
<b>Lifestyle Sign</b>	Throughout subdivision within R/W and along Tradition Community roadway frontage on subdivision property only, not within R/W.	Max. (12) twelve per subdivision or plat.	8'	32 SF per face.	External
<b>Decorative Standards</b>	Attached to subdivision light poles along main and secondary roads and within common areas throughout the subdivision.	Varies. Based on selected poles along various roads within the community.	N/A	12.5 SF (30"x60") per face/side	Non-illuminated

\*Temporary signs specifically defined as exempt from permitting procedures within the City of Port St. Lucie Sign Code shall not require a permit and may remain posted at a property for no longer than 12 months. Such signs must conform to the guidelines within this document. The exemption does not apply to any structure that would require a building permit.

<b><u>Non-Residential</u></b>					
<b>Sign Type:</b>	<b>Locations:</b>	<b>Number of Signs Allowed:</b>	<b>Max Height/ Size:</b>	<b>Allowable Sign Area:</b>	<b>Lighting: Internal/ External</b>
<b>Non-Residential Parcel Identification (For single or multiple tenants in same building)</b>	Adjacent to roadway(s) on each individual property.	<u>*(1 per parcel road frontage</u>	9.5'	Max sign SF = 46 SF	Internal/External
<b>Non-Residential Parcel Identification Electronic Changeable Copy Sign</b>	Adjacent to roadway on each individual property.	(1) per parcel	9.5'	Max sign SF = 46 SF Max digital sign panel=23 SF Max 3 lines of copy, non-scrolling . Refer to (Electronic Changeable copy sign) definition and criteria page 3.	Internal/External
<b>Non-Residential Multiple User Parcel Identification (For two or more users/buildings on the same parcel. Does not apply to multiple tenants in same building or same use in multiple buildings.)</b>	Adjacent to primary roadway at major entry into property(in projects median or adjacent to road).	(1) median or (1) per entry side.	9.5'	2-4 users: 64 sf max. 5 or more users: 96 sf max	Internal/External
<b>Non-Residential Informational/Directional</b>	Adjacent to secondary roadways or entrances within individual parcels.	Max 4.	7'	16 SF	Internal
<b>Non-Residential Blade Tenant Signage</b>	Above entry doors or adjacent to front entrance.	One per business.	N/A	N/A	Internal/External
<b>Banner Sign</b>	Within subdivision property only and not visible from adjacent community roadways.	Building frontage under 100 SF = (1) one sign. Building frontage over 100 SF = (2) two signs.	4'	32 SF per face.	Non-illuminated

\*Non-residential parcels with more than one road frontage, such as a corner lot, may have 1 (one) parcel identification signs per road frontage. One sign may be located on each road frontage. The primary road frontage may display 100% of allowable sign area. The secondary and tertiary frontage may display no more than 50% of allowable sign area.

\*Temporary signs specifically defined as exempt from permitting procedures within the City of Port St. Lucie Sign Code shall not require a permit and may remain posted at a property for no longer than 12 months. Such signs must conform to the guidelines within this document. The exemption does not apply to any structure that would require a building permit.

<b><u>Building Mounted Façade Signs</u></b>				
<b>Sign Type:</b>	<b>Locations:</b>	<b>Number of Signs Allowed:</b>	<b>Allowable Sign Area:</b>	<b>Lighting: Internal/External</b>
<b>Non-Residential Building Mounted Façade Sign (less than 10,000 sf bldg.)</b>	Located on the front, rear and/or side building façades depending upon store location.	1 per business façade/section of a façade.	<del>32 sf plus 1.5 sf for each additional linear foot of front facade over 20 feet.</del> Not to exceed 200 S.F. maximum <u>cumulative area.</u>	Internal/External
<b>Non-Residential Building Mounted Façade Sign (10,000sf to 25,000 sf bldg.)</b>	Located on the front, rear and/or side building façades depending upon store location.	1 per business façade/section of a façade.	<del>32 sf plus 1.5sf for each additional linear foot of front facade over 20 feet.</del> Not to exceed 500 S.F. maximum <u>cumulative area.</u>	Internal/External
<b>Non Residential Building Mounted Façade Sign (25,000 sf or greater)</b>	Located on the front, rear and/or side building façades depending upon store location.	1 per business façade/section of a façade.	32 sf plus 1.5sf for each additional linear foot of front facade over 20 feet. Not to exceed 1,000 S.F. maximum.	Internal/External
<b>Awning or Canopy Signage</b>	Located on front awning of building	1 per business	Maximum of 40% of awning surface, or 90% of awning width x 2'0" high.	Internal/External Option (A) Each letter is an independent lightbox the shape of the character. Option (B) Each letter is an independent open channel character w/ exposed neon.
<b>Blade sign</b>	Above entry doors or adjacent to front entrance.	1 per business.	Maximum of 10'-0" sf. Minimum height clearance to sidewalk 8'6"	Internal/External

<b><u>Temporary</u></b>				
<b>Sign Type:</b>	<b>Locations:</b>	<b>Max Height:</b>	<b>Allowable Sign Area:</b>	<b>Lighting: Internal/External</b>
<b>Temporary Directional/Informational/Environmental</b>	Throughout the community along roadways within the right of way.	12'	32 SF	Non-illuminated
<b><u>Temporary</u> Real Estate Development Sign</b>	<u>Any undeveloped parcel.</u> Parcels with I-95 frontage and sign facing I-95 may utilize the <u>greater allowable height and area</u>	12' <u>*40'</u>	100 SF <u>*525 SF</u>	Internal/External 1

~~(Permit allowed no more than 18 months)~~

\*Temporary signs specifically defined as exempt from permitting procedures within the City of Port St. Lucie Sign Code shall not require a permit and may remain posted at a property for no longer than 12 months. Such signs must conform to the guidelines within this document. The exemption does not apply to any structure that would require a building permit.

<b><u>Special District Signage</u></b>				
<b>Sign Type:</b>	<b>Locations:</b>	<b>Number of Signs Allowed:</b>	<b>Allowable Sign Area:</b>	<b>Lighting: Internal/External</b>
<b>Hospital - Main Identification</b>	Adjacent to or within primary roadway accessing hospital.	6	A maximum sign area of 150 sq. ft. per face.	Internal/External
<b>Hospital Vehicular Directional</b>	Multiple locations along community roadways.	12	Maximum sign square footage = 36 sq. ft. per face.	Internal/External
<b>Landmark Sign</b>	Adjacent to or within community roadways, commercial association property, sign easements or individual properties.	1 per landmark parcel.	Not to exceed 500 S.F. maximum.	Internal/External
<b>Adjacent Parcel Sign</b>	Allowed as additional square footage on Non-Residential Multiple User Parcel Identification sign or on real estate development signs as a single user. User's property must be immediately adjacent (shared property line).	1 adjacent parcel user per Non-Residential Multiple User Parcel Identification sign.	Maximum <u>Additional</u> 50% of allowable square footage on Non-Residential Multiple User Parcel Identification	Internal/External

## Exhibit A

# Tradition Master Sign Program

## List of Changes from Amendment 6 to Amendment 7

1. Implemented approved Table from 6<sup>th</sup> Amendment.
2. Tables updated to remove “uses” column.
3. Text changes annotated.
4. Removed image references.

## List of Changes from Amendment 5 to Amendment 6

1. All proposed text changes noted with strikethrough and underline.
2. General reformatting to improve legibility.
3. Updated owner information.
4. Updated table of contents.
5. Language added to Sign Area Calculations
6. Language added to Community Building/Civic Structures.
7. Digital Display Kiosk description added.
8. Community Sign Types added with modifications to Welcome and Primary Directional Signs.
9. Temporary sign types modified.
10. Image references updated – Welcome Sign, Community Directional, Primary Directional.