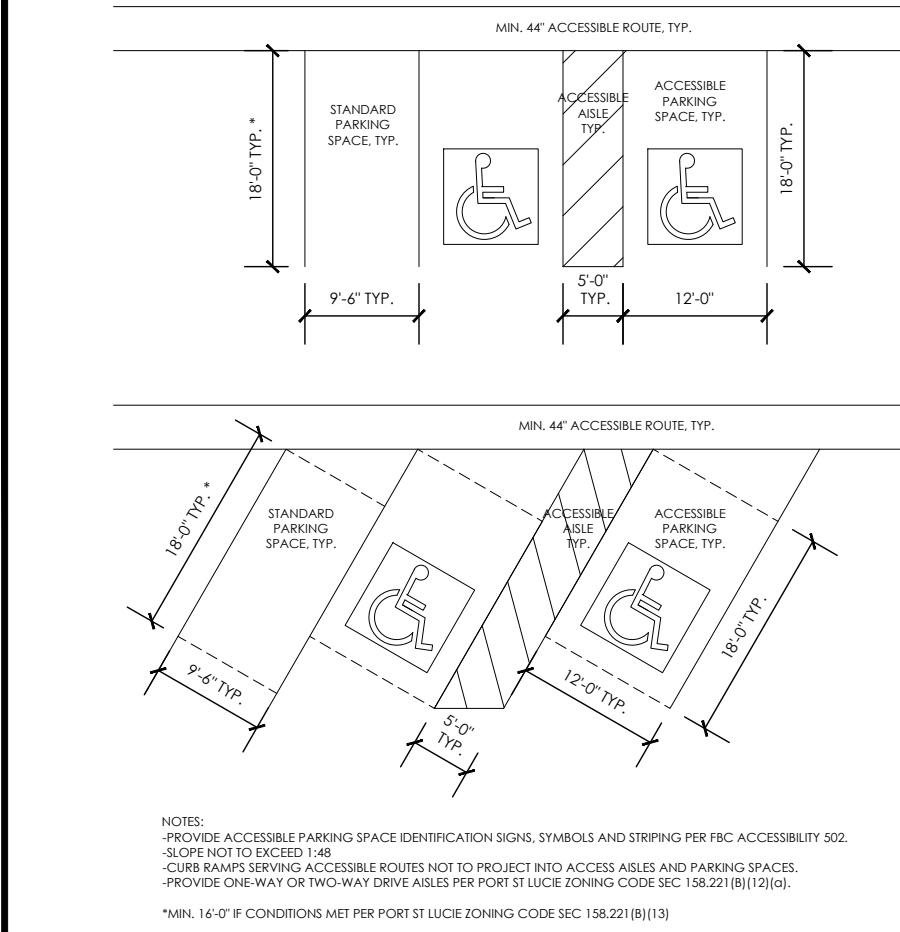
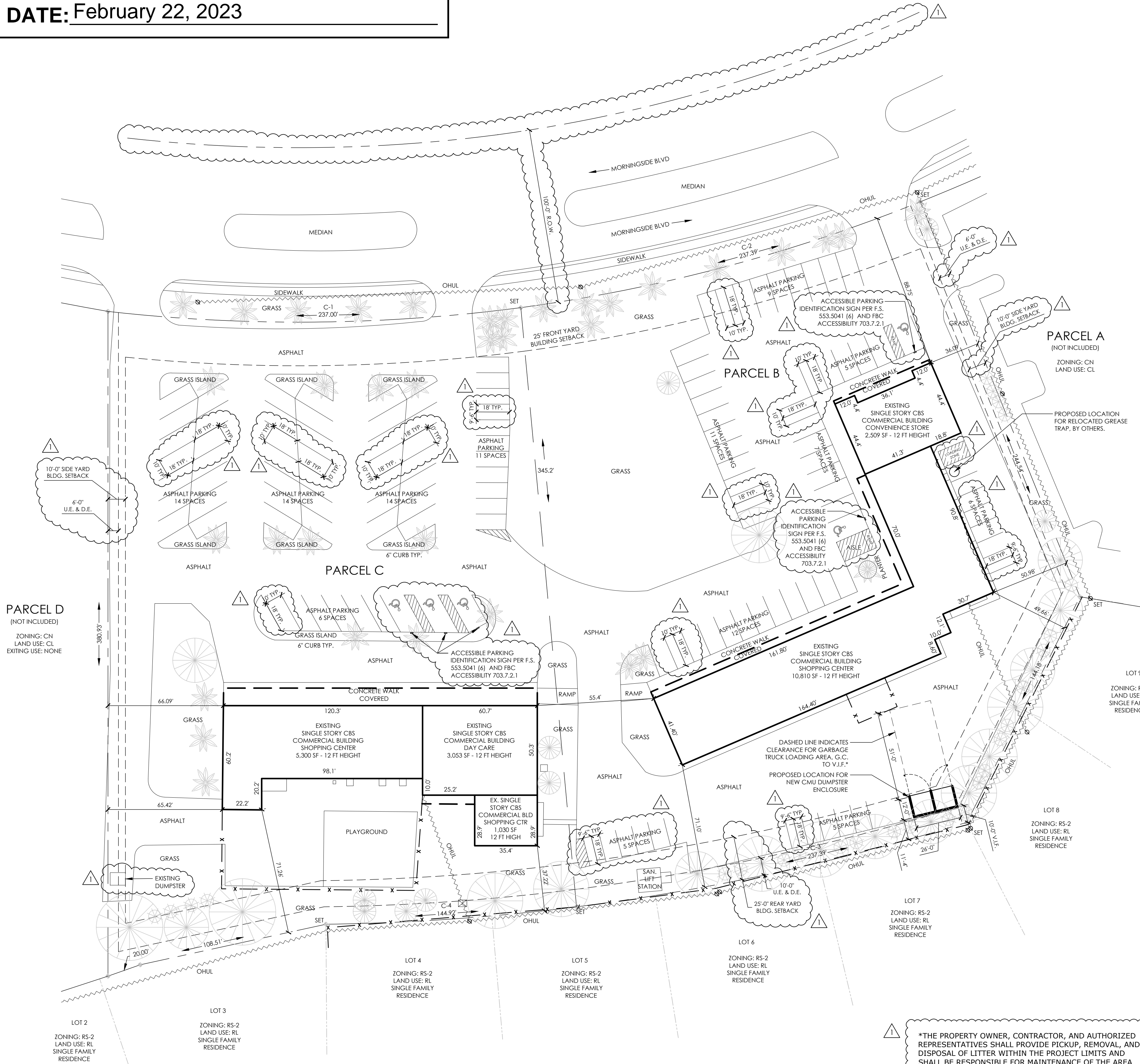
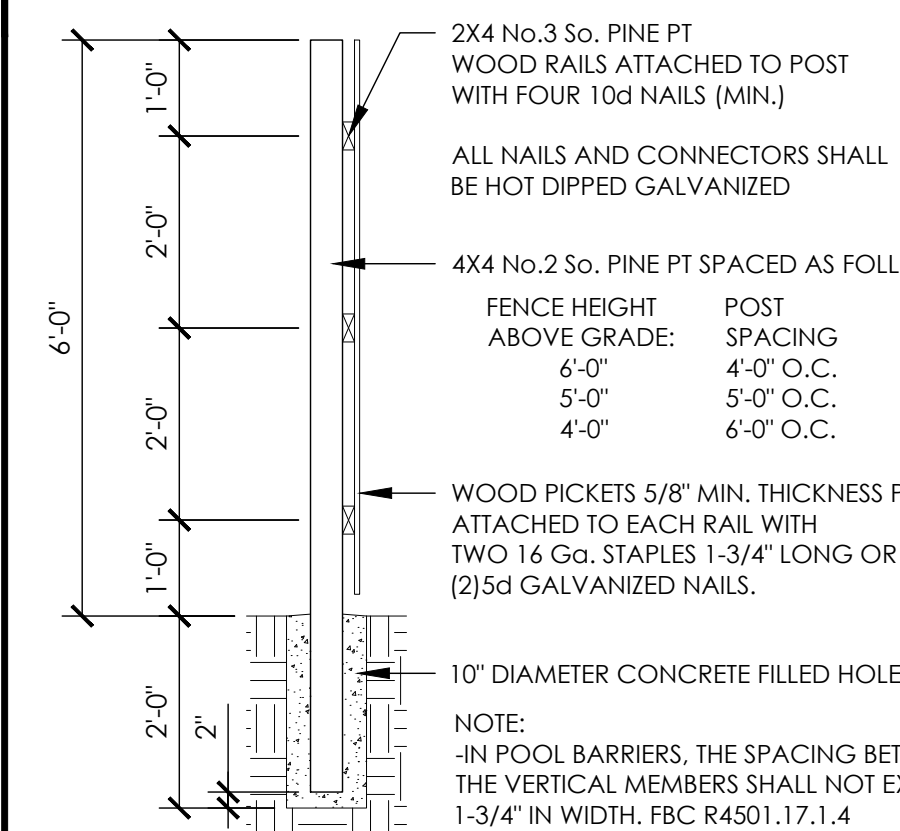


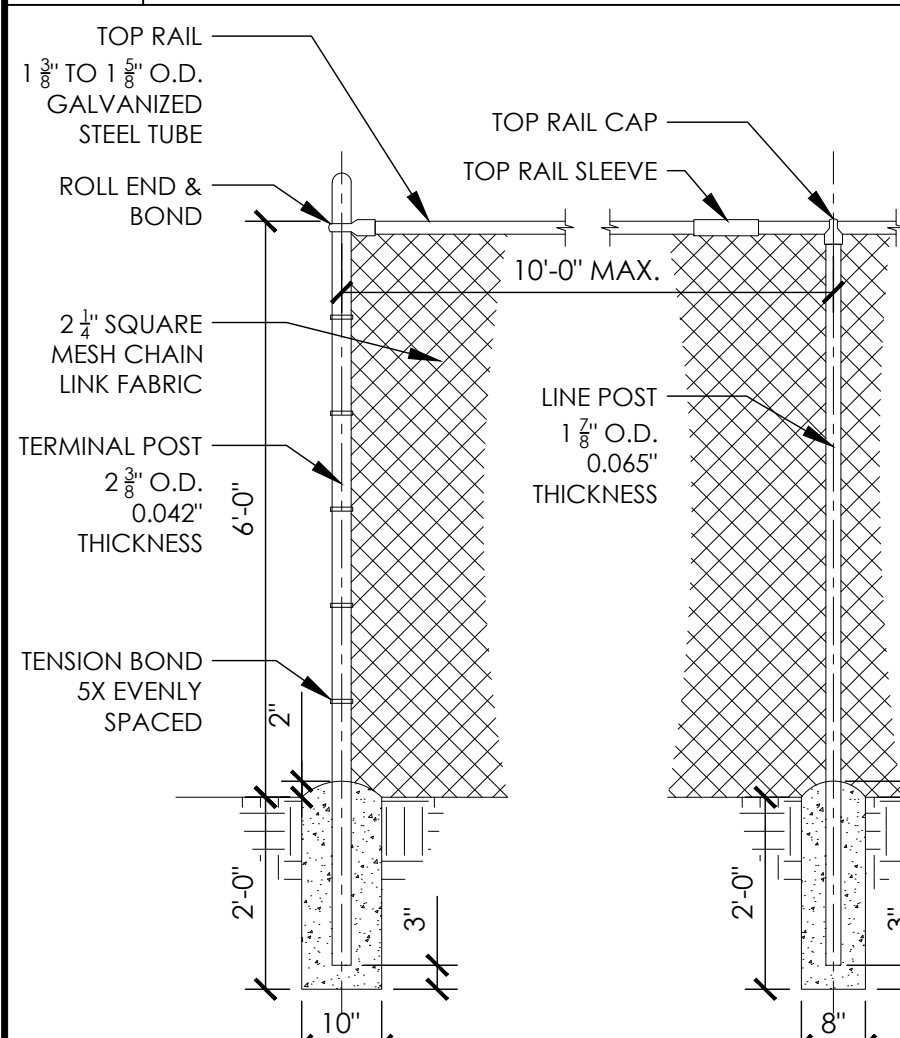
APPROVED BY CITY OF PORT ST. LUCIE
SITE PLAN REVIEW COMMITTEE
CONDITIONS: YES ☐ NO ☒
DATE: February 22, 2023



2 TYP. PARKING DETAILS N.T.S.



3 TYP. WOOD FENCE N.T.S.



NOTES:
-CHAIN LINK MESH FABRIC: 121/2 GAUGE MIN.
-FABRIC TIES: MIN. SAME GAUGE AS FABRIC.
-FABRIC TIES SPACING:
-TOP RAIL - 5X EVENLY SPACED BTWN POSTS
-LINE POSTS - 5X EVENLY SPACED
-EITHER TOP RAIL OR TOP TENSION WIRE SHALL BE USED.
-BRACES MUST BE USED @ TERMINAL POSTS IF TOP TENSION WIRE IS USED INSTEAD OF TOP RAIL.
-POSTS SHALL BE EMBEDDED TO WITHIN 6" FROM BOTTOM OF FOUNDATION.
-IN ORDER TO FOLLOW THE CONTOUR OF THE LAND, BOTTOM OF FENCE MAY CLEAR THE CONTOUR OF THE FOUND BY UP TO 5" WITHOUT INCREASING TABLE VALUES TO THE NEXT HIGHER LIMIT.
*IF CHAIN LINK FENCE SERVES AS A POOL BARRIER, MUST COMPLY WITH FBC 454.2.17.1.1 - 454.2.17.1.14.

4 TYP. CHAIN LINK FENCE N.T.S.

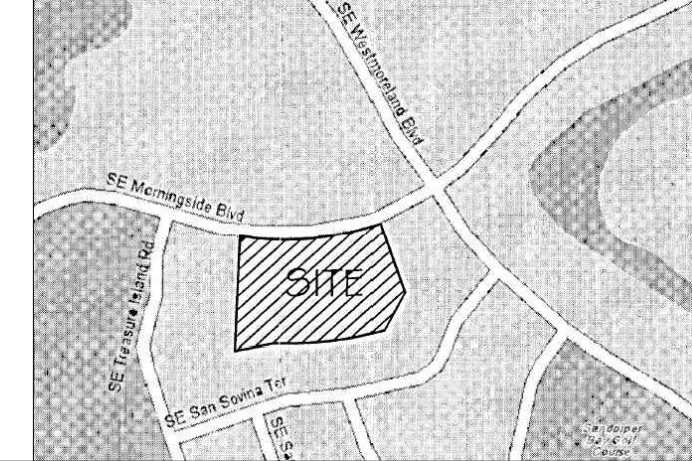
CONTRACTOR NOTES

*G.C. TO V.I.F. THAT PROPOSED DUMPSTER ENCLOSURE LOCATION MEETS CLEARANCE REQUIREMENTS FOR APPROACH AND LOADING OF GARBAGE TRUCKS. G.C. TO PROMPTLY NOTIFY ARCHITECT OF ANY ISSUES OR DISCREPANCIES.

*G.C. TO V.I.F. THAT EXISTING WOOD AND CHAIN LINK FENCES HAVE BEEN CONSTRUCTED TO THE MINIMUM STANDARDS SPECIFIED HEREIN, AND SHALL IMMEDIATELY NOTIFY THIS ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES.

*G.C. TO V.I.F. THAT ALL PARKING SPACES LAYOUTS AND IDENTIFICATION MEET THE MINIMUM STANDARDS SPECIFIED HEREIN, AND SHALL IMMEDIATELY NOTIFY THIS ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES.

LOCATION MAP



SITE DATA

NAME OF DEVELOPMENT	SOUTHPORT PLAZA
EXISTING USES	SHOPPING CENTER, CONVENIENCE STORE, DAY CARE
ZONING	CN - NEIGHBORHOOD COMMERCIAL ZONING DISTRICT
LAND USE DESIGNATION	1600 - COMMERCIAL SHOPPING CENTER (PER SLCPA) CL - LIMITED COMMERCIAL (PER PORT ST LUCIE PLANNING & ZONING)
LEGAL DESCRIPTION (PER SLCPA)	PARCEL B - 14 37 40 FROM NE COR LOT 1 BLK 8 PSL UNIT 1, SD PT BEING ON SLY R/W MORNINGSIDE BV AND PC OF CURVE CONC NLY, R 947.29 FT AND CA 23 DEG 27 MIN 02 SEC, TH SELY ALG SD CURVE 387.72 FT TO POB, TH CONT ALG CURVE THRU CA OF 14 DEG 23 MIN 46 SEC 238.02 FT, TH S 22 DEG 42 MIN 48 SEC E 244.54 FT, TH S 25 DEG 33 MIN 15 SEC W 144.18 FT TO CURVE CONC NLY, R 1292.29 FT AND CA 10 DEG 11 MIN 51 SEC, TH SWLY ALG CURVE 230 FT, TH N 06 DEG 09 MIN 20 SEC W 345.18 FT TO POB (OR 1394-2978) PARCEL C - 14 37 40 FROM NE COR LOT 1 BLK 8 PSL UNIT 1, SD PT BEING ON SLY R/W MORNINGSIDE BV AND PC OF CURVE CONC NLY, R 947.29 FT AND CA 09 DEG 04 MIN 42 SEC, TH SELY ALG CURVE 150.10 FT TO POB, TH CONT ALG SD CURVE THRU CA 14 DEG 22 MIN 20 SEC, 237.62 FT, TH S 06 DEG 09 MIN 02 SEC E 345.18 FT TO PT ON CURVE CONC NLY, R 1292.29 FT AND CA 06 DEG 25 MIN 44 SEC, TH SWLY ALG SD CURVE 145 FT, TH S 77 DEG 08 MIN 32 SEC W 108.51 FT, TH S 70 DEG 05 MIN 58 SEC W 20 FT, TH N 00 DEG 44 MIN 12 SEC W 380.93 FT TO POB (OR 1394-2978)

SITE AREA

	REQUIRED	EXISTING	PROPOSED
TOTAL SITE AREA	-	4.215 ACRES (183,610 SF)	NO CHANGE
PERVIOUS AREA	-	28% (54,411 SF)	NO CHANGE
IMPERVIOUS AREA	80% MAX.	72% (132,296 SF)	NO CHANGE
BUILDING COVERAGE	40% MAX.	12% (22,702 SF)	NO CHANGE
PAVING COVERAGE	-	60% (109,594 SF)	NO CHANGE

BUILDING AREA

	EXISTING	PROPOSED
SHOPPING CENTER	17,140 SF	NO CHANGE
CONVENIENCE STORE	2,509 SF	NO CHANGE
DAY CARE	3,053 SF	NO CHANGE
TOTAL	22,702 SF	NO CHANGE

PARKING SPACES

	REQUIRED	PROVIDED
SHOPPING CENTER	86 SPACES (1 PER 200 SF)	86 SPACES
CONVENIENCE STORE	13 SPACES (1 PER 200 SF)	14 SPACES
DAY CARE	11 SPACES (1 PER 300 SF)	19 SPACES
ACCESSIBLE SPACES	5 SPACES (101-150 TOTAL)	5 SPACES
TOTAL	110 SPACES	124 SPACES

PARKING DIMENSIONS

	REQUIRED MINIMUM DIMENSIONS
SPACE	9'-5" WIDE, 18' LONG - SEC. 158.221(B)(13) PSL ZONING CODE
AISLE	MIN. ONE-WAY AND TWO-WAY AISLES PER SEC. 158.221(B)(12)(d)
ACCESSIBLE SPACE	12' WIDE, 18' LONG. PROVIDE 5' WIDE ACCESS AISLE. SPACES TO BE LOCATED ON 44" ACCESSIBLE ROUTE. PROVIDE SPACE IDENTIFICATION AND SIGNAGE. ACCESSIBLE PARKING TO COMPLY WITH 2020 FBC ACCESSIBILITY SEC. 502, AND FLORIDA STATUTE 553.5041.

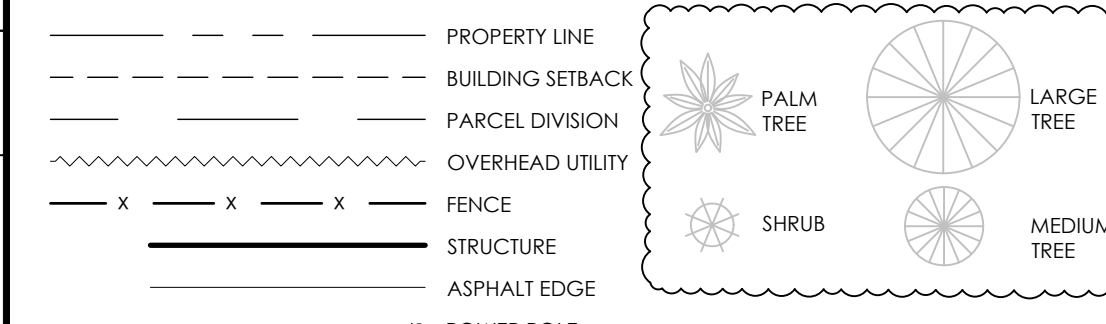
FLOOD ZONE

FLOOD ZONE (FIRM EFFECTIVE DATE 2/19/2020)	X - FIRM PANEL 12111C0293K
--	----------------------------

PLAN REVIEW NOTE

* LANDSCAPING SHOWN ON SITE PLAN REPRESENTS A DIAGRAMMATIC APPROXIMATION OF EXISTING VEGETATION.

LEGEND



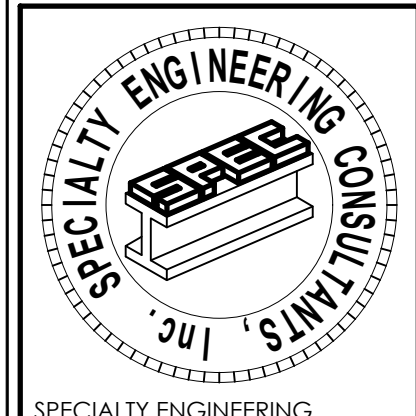
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5/15/2023 CORRECTIONS

PROPOSED SITE PLAN

NEW DUMPSTER ENCLOSURE
2711-2753 SE MORNINGSIDE BLVD
PORT ST LUCIE, FL 34952

ROX DEVELOPMENT
1501 SE DECKER AVE, #410
HOBE SOUND, FL 34994



1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL. CA. #099217

861 - 752 - 5440 OFFICE
861 - 752 - 5542 FAX

FILE NAME:

SCALE AS NOTED

DATE 5/16/2023

RVD. BY DAL

DRWN. BY KWP

REVISION 1

61-615-0002 P.A.C. - ALLOWED FOR PRINT ONLY. ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE CURVE UNLESS OTHERWISE NOTED.

Dewey A. LeBlanc
Digitally signed by Dewey A. LeBlanc
Date: 2023.05.16 11:25:07 -0400

SEAL
GARY McDOUGLE, PE, FL #56214
D. MARK LEBLANC, PE, FL #35653
D. ADAM LEBLANC, PE, FL #77012
JESSICA F. DORNBLASER, AIA, NCARB
FLORIDA REGISTRATION #A97928

SHEET #

A101

NEW DUMPSTER ENCLOSURE

GENERAL NOTES

- ALL WALLS SHALL RECEIVE (2) COATS (MIN.) FIRST QUALITY LATEX PAINT; COLOR AND FINISH TO BE SELECTED BY OWNER OR INLINE WITH LANDLORDS BUILDING STANDARD.
- NOT USED.
- ALL COLUMNS, CONC. WALLS AND WINDOW HEADERS AND SILLS SHALL BE FURRED TO MINIMUM DIMENSION POSSIBLE.
- PROVIDE FULLY DETAILED SHOP DRAWINGS FOR ALL ITEMS REQUIRING FABRICATION, I.E.: CASEWORK, MILLWORK, DOORS, AND CONSULT ARCHITECT / OWNER FOR HARDWARE SELECTIONS.
- DOOR SHALL BE 1-3/4" THICK MIN UNO.
- FINAL CLEAN & PUNCH LIST SHALL LEAVE SUITE IN AN "AS NEW" CONDITION. ALL TRADES SHALL BE RESPONSIBLE TO ENSURE THAT THE REQUIREMENTS OF THIS CONTRACT ARE MET.
- ALL WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR OR AS SPECIFIED BY DURING CONTRACT NEGOTIATION.
- THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT A201 (LATEST ADDITION) OR EQUAL SHALL BE MADE PART OF THIS CONTRACT.
- ALL ELECTRICAL OUTLETS OR SWITCHES TO MATCH EXISTING. IF ALL NEW PROVIDE "DECORA" TYPE IN WHITE.
- G.C. SHALL COORDINATE ALL ABOVE CEILING ELEMENTS, SYSTEMS WITH STRUCTURE TO ASSURE THAT ALL REQUIRED CLEARANCES ARE PROVIDED.
- PRIOR TO ANY CONSTRUCTION, G.C. SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THIS IS IMPORTANT DUE TO THE IRREGULAR CONFIGURATION OF SOME SPACE. IF QUESTION ARISES, THE G.C. SHALL NOTIFY ARCHITECT AT ONCE FOR CLARIFICATION. FAILURE OF THE G.C. OR THEIR SUBCONTRACTORS TO SECURE SUCH CLARIFICATION PRIOR TO PLACING THE WORK IN QUESTION SHALL PLACE ALL RESPONSIBILITY TO REMOVE SUCH WORK AND REINSTALL IN ACCORDANCE WITH THE ARCHITECTS INTERPRETATION.
- ALL DIMENSIONS ARE NOMINAL AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS. MINOR ADJUSTMENTS OR WALL LOCATIONS MAY BE NECESSARY. G.C. SHALL SUBMIT A REQUEST TO THE ARCHITECT OF RECORD IN SUCH CIRCUMSTANCES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER CODES HAVING JURISDICTION OVER THE PROJECT. IT IS RECOGNIZED THAT THE A/E/ CANNOT INCLUDE EVERY CODE REQUIREMENT OF THE APPLICABLE BUILDING CODES ON THE DRAWINGS.
- UNDER NO CIRCUMSTANCES SHALL DRAWING SETS BE BROKEN UP. FULL SETS SHALL BE SUPPLIED TO ALL SUBCONTRACTORS. NO CHANGES TO CONTRACT DRAWINGS SHALL BE MADE IN FIELD WITHOUT ARCHITECTS EXPRESSED WRITTEN PERMISSION.
- DRAWINGS SHOW SCHEMATIC SCOPE OF WORK. G.C. SHALL UNDERSTAND THAT OTHER WORK MAY BE REQUIRED OUTSIDE OF THE LIMITS SHOWN ON THESE DRAWINGS.
- ALL DOORS THAT ARE TO BE REUSED OR LEFT AS EXISTING SHALL BE REFINISHED AND FREE OF ANY AND ALL DEFECTS, BLEMISHES, SCUFFS OR SCRATCHES AS BEST AS POSSIBLE.
- GC SHALL REMOVE ALL UNUSED/ ABANDONED TELEPHONE, DATA, ELECTRIC WIRING AND CONDUIT FROM ABOVE CEILING AREAS.
- DIAGONAL BRACING SHALL BE ADDED AS REQUIRED FOR NEW WALLS AND EXISTING WALLS THAT REQUIRE SUPPORT DUE TO RECONFIGURATION OF SPACE.
- EXCEPT FOR FLOOR TILE ALL FLOORS WHICH ARE REQUIRED TO BE LEVEL SHALL BE LEVELED USING A FIRST QUALITY FLOOR-LEVELING COMPOUND PRIOR TO FLOOR FINISH INSTALLATION.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION THE GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH FROM THE JOB SITE DAILY. ALL CONSTRUCTION DEBRIS MUST BE CONTAINED WITHIN THE OWNERS SPACE AND SHALL REMOVE SUCH DEBRIS AND CLEAN THE SPACE UPON COMPLETION. TEMPORARY TRASH STORAGE AND REMOVAL SHALL BE AT THE CONTRACTORS EXPENSE AND SHALL BE CONTAINED IN AN APPROVED TRASH CONTAINER LOCATED WHERE REQUIRED BY LANDLORD OR AHJ.

NOT ALL OF THESE NOTES APPLY

DESIGN CRITERIA

FBC 2020 7th EDITION
ASCE 7-16

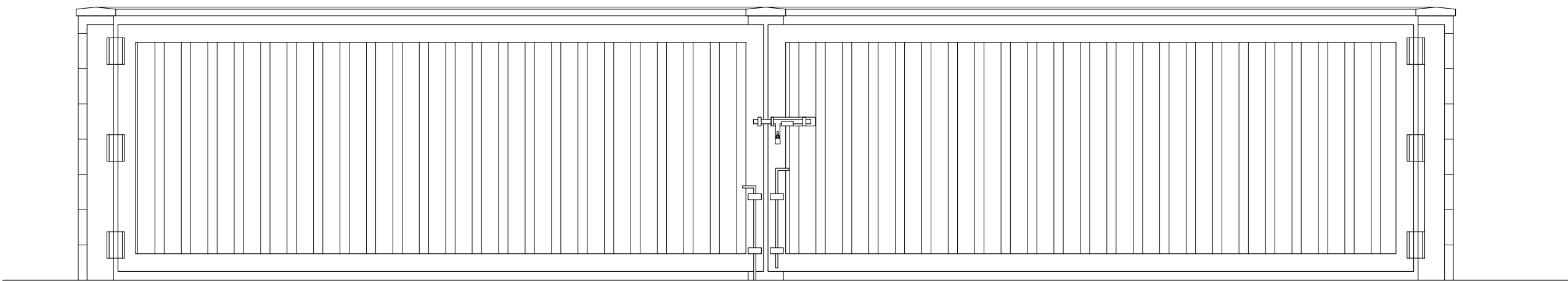
- BASIC WIND SPEED (WIND VELOCITY)
170 MPH (VULT)
132 MPH (VASD)

- RISK CATEGORY II
- BUILDING DESIGNED AS ENCLOSED
- WIND IMPORANCE FACTOR 1.0
- INTERNAL PRESSURE COEFFICIENT= +/- .18
- EXPOSURE= C
- NOMINAL WIND LOAD AS PER 1603.1.4 FBC
- PERFORMANCE COMPLIANCE METHOD (EXISTING BUILDING)

PROJECT SCOPE

NEW CMU DUMPSTER ENCLOSURE FOR EXISTING COMMERCIAL PROPERTY.

*THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (g).



PROPOSED ELEVATION

NTS

CONTACT INFORMATION

OWNER

SOUTHPORT PROPERTY INVESTMENTS
409 LIME AVE
DAYTONA BEACH, FL 32124

CIVIL ENGINEER

NOT APPLICABLE

LANDSCAPE ARCHITECT

NOT APPLICABLE

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER

NOT APPLICABLE

STRUCTURAL ENGINEER

SPECIALTY ENGINEERING CONSULTANTS, INC.
1599 SW 30TH AVE.
SUITE #20
BOYNTON BEACH, FL. 33426

CONTRACTOR

NOT APPLICABLE

OTHER

NOT APPLICABLE

DRAWING INDEX

CS
A101
A201

COVER SHEET
SITE PLAN
PROPOSED PLAN AND ELEVATIONS

S1

STRUCTURAL



PROJECT LOCATION, PORT ST. LUCIE, FL

LOCATION MAP



EARTH		WOOD		PLASTER	
GRAVEL		SHIM		STUCCO	
SAND		FINISHED WOOD		ACOUSTICAL CEILING	
CONCRETE		PLYWOOD		CERAMIC TILE	
BRICK		STEEL		CARPET	
MASONRY UNIT		INSULATION BATT		GLASS	
MARBLE		INSULATION RIGID		SPANDREL	
GRANITE		GYPSUM WALL BOARD			

MATERIAL LEGEND

SYMBOLS

	ROOM NUMBER
	DOOR NUMBER
	WINDOW TYPE
	WALL TYPE
	DETAIL NUMBER SHEET NUMBER
	ELEVATION SHEET NUMBER
	DETAILED AREA
	ROOM FINISH DESIGNATION

ABV A/C ACOUS ACT ADD ADH AFF ALT ALUM ANOD AP APPROX ARCH AVG	ABOVE AIR CONDITIONING ACOUSTICAL ACOUSTICAL TILE ADDENDUM ADHESIVE ADJACENT ADJUSTABLE ABOVE FINISHED FLOOR ALTERNATE ALUMINUM ANODIZED ACCESS PANEL APPROXIMATE ARCHITECTURAL AVERAGE
BD BLDG BLKG BO	BOARD BUILDING BLOCKING BOTTOM OF
CAB CG CLG CLR CLO COL CONC CONF CONST CONT CORR COUNT CPT CTR	CABINET CORNER GUARD CEILING CLEAR(ANCE) CLOSET COLUMN CONCRETE CONFERENCE CONSTRUCTION CONTINUOUS, CONTINUE CORRIDOR COUNTER CARPET CERAMIC TILE CENTER
DBL DEMO DEPT DTL DF DIA DIM DISP DN DR DW DWG DWR	DOUBLE DEMOLISH, DEMOLITION DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIMENSION DISPOSAL DOWN DOOR DISHWASHER DRAWING DRAWER
EA EL ELEC ELEV EQ EQUIP EWC EWH EXIST EXT	EACH ELEVATION ELECTRICAL ELEVATOR EQUAL EQUIPMENT ELECTRIC WATER COOLER ELECTRIC WATER HEATER EXISTING EXTERIOR
FA FAP FD FE FEC FF FHC FIN FIXT FLR	FIRE ALARM FIRE ALARM PULL FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISHED FLOOR FIRE HOSE CABINET FINISH(ED) FIXTURE FLOOR(ING)

FOF FLUOR FR FS FT FUR	FACE OF FINISH FLUORESCENT FIRE RATED FIRE STROBE FOOT, FEET FURRED(ING)
GA GC GL GWB GYP.BD.	GAGE, GAUGE GENERAL CONTRACTOR GLASS, GLAZING GYPSUM WALLBOARD GYPSUM BOARD
HC HMA HR HT HVAC	HOLLOW CORE HOLLOW METAL HOUR HEIGHT HEATING/VENTILATING/AIR COND.
IN INCL	INCH INCLUDE(D)(ING)
JAN JC	JANITOR JANITOR'S CLOSET
LAB LAM LAV LBL LH LT	LABORATORY LAMINATED LAVATORY LABEL LEFT HAND LIGHT
MAX MECH MFR MIN MSC MTD	MAXIMUM MECHANICAL(AL) MANUFACTURE(ER) MINIMUM MISCELLANEOUS MOUNTED

NA NGVD	NOT APPLICABLE NATIONAL GEODETIC VERTICAL DATUM
NIC NO NOM NTS	NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
OC OPNG OPP	ON CENTER OPENING OPPOSITE
P.LAM. PNL PTD PR PSF PSI PT PTN PLYWD	PLASTIC LAMINATE PANEL PAINT(ED) PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION PLYWOOD
QTY	QUANTITY
R RAD RA REC REFR REQ'D REV RH RM	RISER(S) RADIUS RETURN AIR RECESSED REFRIGERATOR REQUIRED REVISION(S), REVISED RIGHT HAND ROOM
SC SCH SHT SIM SPEC SQ SS STD STL	SOLID CORE SCHEDULE SHEET SIMILAR SPECIFICATION(S) SQUARE STAINLESS STEEL STANDARD STEEL

STO STR SUSP SYM	STORAGE STRUCTURE SUSPENDED SYMMETRY(ICAL)
TEL TEMP THK TV TYP TZ	TELEPHONE TEMPERED THICK(NESS) TELEVISION TYPICAL TERRAZO
UL UNO	UNDERWRITER'S LABORATORY UNLESS NOTED OTHERWISE
VB VCT VERT VEST VWC	VINYL BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE VINYL WALLCOVERING
WC WD W/O	WATER CLOSET / TOILETS WOOD WITHOUT



PSLUSD
#11-481-00

CITY OF PORT ST LUCIE
PROJECT #P06-318-A1

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5/15/2023 CORRECTIONS

SHEET INFORMATION

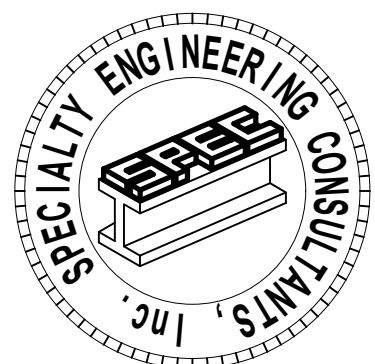
COVER SHEET

PROJECT INFORMATION

NEW DUMPSTER
ENCLOSURE
2711-2753 SE MORNINGSIDE BLVD
PORT ST LUCIE, FL 34952

CLIENT INFORMATION

ROX DEVELOPMENT
1501 SE DECKER AVE, #410
HOBE SOUND, FL 34994



SPECIALTY ENGINEERING
CONSULTANTS, INC.

1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL, CA. #009217

861 - 752 - 5440 OFFICE
861 - 752 - 5542 FAX

FILE NAME:

SCALE AS NOTED

DATE 5/16/2023

RVD. BY DAL

DRWN. BY KWP

REVISION

1

41-A15-2002, F.A.C. - ALLOWED FOR WET SEAL, PARALLEL SEAL, AND SPECIALLY CRAFTED SEAL, SPECIALLY CRAFTED SEAL WITH 41015-30025

Dewey A. LeBlanc
Digitally signed by Dewey A. LeBlanc
Date: 2023.05.16 11:27:25 -0400

SEAL
GARY MCDOWDE, PE, FL #56214
D. MARK LEBLANC, PE, FL #35653
D. ADAM LEBLANC, PE, FL #77012
JESSICA F. DORNBLASER, AIA, NCARB
FLORIDA REGISTRATION #897928

SHEET #

CS

FLOOR PLAN NOTES

1. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF STUD, MASONRY, CONCRETE, GRIDLINES, UNLESS OTHERWISE NOTED.

2. CONTRACTOR SHALL COORDINATE DOOR AND WINDOW OPENINGS WITH DOOR AND WINDOW MANUFACTURER.

PROPOSED PLAN KEYED NOTES

1. NEW SLAB, MAX. 2% SLOPE. SEE STRUCTURAL FOR SLAB & FOUNDATION DETAILS

2. 8" CMU WALL, TYP. SEE STRUCTURAL FOR DETAILS. CMU ENCLOSURE SHALL BE FINISHED WITH STUCCO, TEXTURED AND PAINTED TO MATCH THE EXISTING BUILDING PER PSL CODE OF ORDINANCES SEC. 158.232(B)

3. 6X6 STEEL TUBE FASTENED WITH STEEL ANGLES TO CONCRETE WALL, SEE STRUCTURAL

4. CUSTOM FABRICATED METAL GATE, G.C. TO OBTAIN SHOP DRAWINGS TO BE APPROVED BY OWNER BEFORE FABRICATION & INSTALLATION. GATE FINISH SHALL BE CP-400 PER PSL CODE OF ORDINANCES SEC. 158.232(B)

5. HOLES FOR CANE BOLTS

6. PRECAST CONCRETE WALL CAP

7. STEEL HINGE FOR CUSTOM METAL GATE, ATTACHMENT PER MANUFACTURER.

8. DROP PIN ASSEMBLY

9. LOCKABLE LATCH BOLT ASSEMBLY

10. RECYCLING SIGN PER PSL CODE OF ORDINANCES SEC. 158.232(B)

WALL TYPES

NEW CMU WALL

EXISTING WALL TO REMAIN

NEW INTERIOR WALL USE MR BOARD AT WET AREAS

AREA CALCULATIONS

NEW DUMPSTER ENCLOSURE

325 SQ. FT.

*THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (g).

3

PROPOSED ELEVATION

1/2" = 1'-0"

5'-2"

5'-0"

T.O. BOND BEAM

2 TYP.

6 TYP.

3 TYP.

2

PROPOSED ELEVATION

1/2" = 1'-0"

5'-2"

5'-0"

T.O. BOND BEAM

3 TYP.

6 TYP.

7 TYP.

4 TYP.

8 TYP.

9 TYP.

10

PSLUSD

#11-481-00

CITY OF PORT ST LUCIE

PROJECT #P06-318-A1

5/15/2023 CORRECTIONS

DEMOLITION PLAN,
PROPOSED PLAN,
RCP AND
ROOF PLAN

PROJECT INFORMATION

NEW DUMPSTER
ENCLOSURE
2711-2753 SE MORNINGSIDE BLVD
PORT ST LUCIE, FL 34952

CLIENT INFORMATION

ROX DEVELOPMENT
1501 SE DECKER AVE. #410
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561 - 752 - 5440 OFFICE
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FILE NAME:

SCALE AS NOTED

DATE 5/16/2023

RVD. BY DAL

DRWN. BY KWP

REVISION

1

6/15/2023 P.E. ADAM LEBLANC FOR WET SEAL
BARCODED SEAL AND DIGITALLY CREATED SEAL =
DIGITALLY CREATED SEAL SHALL COMPLY WITH
6/15/15-30022

Dewey A. LeBlanc

Digitally signed by Dewey A. LeBlanc
Date: 2023.05.16 11:28:08 -0400

SEAL

GARY McDUGLE, PE, FL #56214
D. MARK LEBLANC, PE, FL #35683
D. ADAM LEBLANC, PE, FL #77012
JESSICA F. DORNBLASER, AIA, NCARB
FLORIDA REGISTRATION AR97928

SHEET #

A201