

APPROVED BY CITY OF PORT ST. LUCIE
SITE PLAN REVIEW COMMITTEE
CONDITIONS: YES NO
DATE: February 22, 2023

LOCATION MAP



SITE DATA

NAME OF DEVELOPMENT	SOUTHPORT PLAZA
EXISTING USES	SHOPPING CENTER, CONVENIENCE STORE, DAY CARE
ZONING	CN - NEIGHBORHOOD COMMERCIAL ZONING DISTRICT
LAND USE DESIGNATION	1600 - COMMERCIAL SHOPPING CENTER (PER SLCPA) CL - LIMITED COMMERCIAL (PER PORT ST LUCIE PLANNING & ZONING)
LEGAL DESCRIPTION (PER SLCPA)	PARCEL B - 14 37 40 FROM NE COR LOT 1 BLK 8 PSL UNIT 1, SD PT BEING ON SLY R/W MORNINGSIDE BV AND PC OF CURVE CONC NLY, R 947.29 FT AND CA 23 DEG 27 MIN 02 SEC, TH SELY ALG SD CURVE 307.72 FT TO POB, TH CONT ALG CURVE THRU CA OF 14 DEG 23 MIN 46 SEC 238.02 FT, TH S 22 DEG 42 MIN 48 SEC E 244.54 FT, TH S 25 DEG 33 MIN 15 SEC W 144.18 FT TO CURVE CONC NLY, R 1292.29 FT AND CA 10 DEG 11 MIN 51 SEC, TH SWLY ALG CURVE 230 FT, TH N 06 DEG 09 MIN 20 SEC W 345.18 FT TO POB (OR 1394-2978) PARCEL C - 14 37 40 FROM NE COR LOT 1 BLK 8 PSL UNIT 1, SD PT BEING ON SLY R/W MORNINGSIDE BV AND PC OF CURVE CONC NLY, R 947.29 FT AND CA 09 DEG 04 MIN 42 SEC, TH SELY ALG CURVE 150.10 FT TO POB, TH CONT ALG SD CURVE THRU CA 14 DEG 22 MIN 20 SEC, 237.62 FT, TH S 06 DEG 09 MIN 02 SEC E 345.18 FT TO PT ON CURVE CONC NLY, R 1292.29 FT AND CA 06 DEG 25 MIN 44 SEC, TH SWLY ALG SD CURVE 145 FT, TH S 77 DEG 09 MIN 32 SEC W 108.51 FT, TH S 70 DEG 05 MIN 58 SEC W 20 FT, TH N 00 DEG 44 MIN 12 SEC W 380.93 FT TO POB (OR 1394-2978)

SITE AREA

	REQUIRED	EXISTING	PROPOSED
TOTAL SITE AREA	-	4.215 ACRES (183,610 SF)	NO CHANGE
PERVIOUS AREA	-	28% (54,411 SF)	NO CHANGE
IMPERVIOUS AREA	80% MAX.	72% (132,296 SF)	NO CHANGE
BUILDING COVERAGE	40% MAX.	12% (22,702 SF)	NO CHANGE
PAVING COVERAGE	-	60% (109,594 SF)	NO CHANGE

BUILDING AREA

	EXISTING	PROPOSED
SHOPPING CENTER	17,140 SF	NO CHANGE
CONVENIENCE STORE	2,509 SF	NO CHANGE
DAY CARE	3,053 SF	NO CHANGE
TOTAL	22,702 SF	NO CHANGE

PARKING SPACES

	REQUIRED	PROVIDED
SHOPPING CENTER	86 SPACES (1 PER 200 SF)	86 SPACES
CONVENIENCE STORE	13 SPACES (1 PER 200 SF)	14 SPACES
DAY CARE	11 SPACES (1 PER 300 SF)	19 SPACES
ACCESSIBLE SPACES	5 SPACES (101-150 TOTAL)	5 SPACES
TOTAL	110 SPACES	124 SPACES

PARKING DIMENSIONS

	REQUIRED MINIMUM DIMENSIONS
SPACE	9.5' WIDE, 18' LONG - SEC. 158.221(8)(13) PSL ZONING CODE
AISLE	MIN. ONE-WAY AND TWO-WAY AISLES PER SEC. 158.221(8)(12)(c)
ACCESSIBLE SPACE	12' WIDE, 18' LONG. PROVIDE 5' WIDE ACCESS AISLE. SPACES TO BE LOCATED ON 4" ACCESSIBLE ROUTE. PROVIDE SPACE IDENTIFICATION AND SIGNAGE. ACCESSIBLE PARKING TO COMPLY WITH 2020 FBC ACCESSIBILITY SEC. 502, AND FLORIDA STATUTE 553.5041.

FLOOD ZONE

FLOOD ZONE (FIRM EFFECTIVE DATE 2/19/2020)	X - FIRM PANEL 12111C0293K
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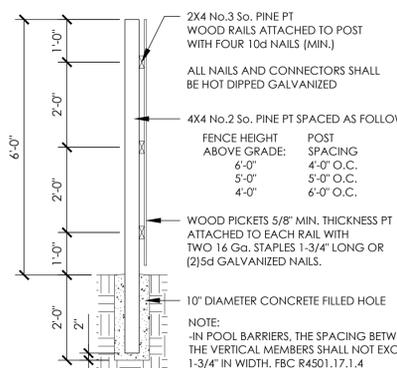
PLAN REVIEW NOTE

* LANDSCAPING SHOWN ON SITE PLAN REPRESENTS A DIAGRAMMATIC APPROXIMATION OF EXISTING VEGETATION.

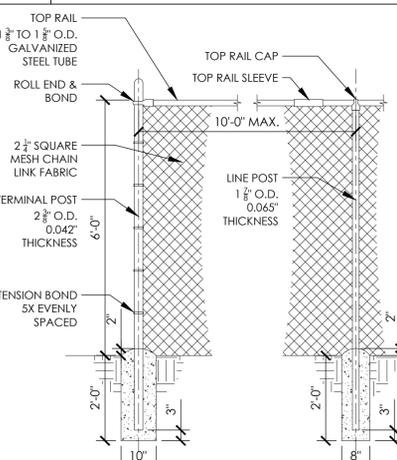
LEGEND

---	PROPERTY LINE		LARGE TREE
---	BUILDING SETBACK		MEDIUM TREE
- - -	PARCEL DIVISION		SHRUB
---	OVERHEAD UTILITY		PALM TREE
- x - x - x -	FENCE		LIGHT POLE
---	STRUCTURE		POWER POLE
---	ASPHALT EDGE		
⊙	POWER POLE		
⊕	LIGHT POLE		

2 TYP. PARKING DETAILS N.T.S.



3 TYP. WOOD FENCE N.T.S.



NOTES:
 -CHAIN LINK MESH FABRIC: 121/2 GAUGE MIN.
 -FABRIC TIES: MIN. SAME GAUGE AS FABRIC.
 -FABRIC TIES SPACING:
 -TOP RAIL - 5X EVENLY SPACED BTWN POSTS
 -LINE POSTS - 5X EVENLY SPACED
 -EITHER TOP RAIL OR TOP TENSION WIRE SHALL BE USED.
 -BRACES MUST BE USED @ TERMINAL POSTS IF TOP TENSION WIRE IS USED INSTEAD OF TOP RAIL.
 -POSTS SHALL BE EMBEDDED TO WITHIN 6" FROM BOTTOM OF FOUNDATION.
 -IN ORDER TO FOLLOW THE CONTOUR OF THE LAND, BOTTOM OF FENCE MAY CLEAR THE CONTOUR OF THE FOUND UP TO 5" WITHOUT INCREASING TABLE VALUES TO THE NEXT HIGHER LIMIT.
 *IF CHAIN LINK FENCE SERVES AS A POOL BARRIER, MUST COMPLY WITH FBC 454.2.17.1.1 - 454.2.17.1.14.

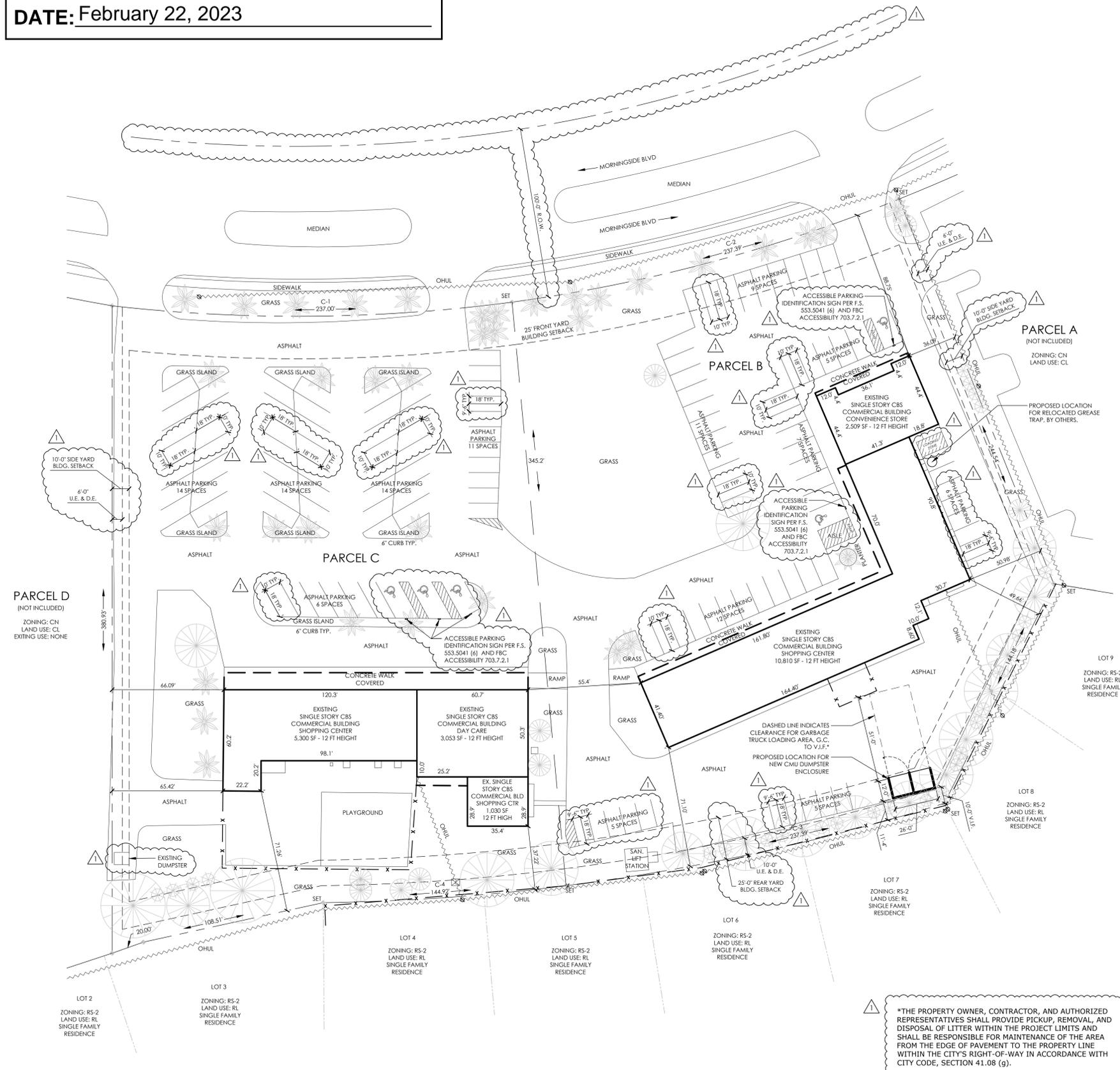
4 TYP. CHAIN LINK FENCE N.T.S.

CONTRACTOR NOTES

* G.C. TO V.I.F. THAT PROPOSED DUMPSTER ENCLOSURE LOCATION MEETS CLEARANCE REQUIREMENTS FOR APPROACH AND LOADING OF GARBAGE TRUCKS. G.C. TO PROMPTLY NOTIFY ARCHITECT OF ANY ISSUES OR DISCREPANCIES.

* G.C. TO V.I.F. THAT EXISTING WOOD AND CHAIN LINK FENCES HAVE BEEN CONSTRUCTED TO THE MINIMUM STANDARDS SPECIFIED HEREIN, AND SHALL IMMEDIATELY NOTIFY THIS ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES.

* G.C. TO V.I.F. THAT ALL PARKING SPACES LAYOUTS AND IDENTIFICATION MEET THE MINIMUM STANDARDS SPECIFIED HEREIN, AND SHALL IMMEDIATELY NOTIFY THIS ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES.



*THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (g).



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5/15/2023 CORRECTIONS

SHEET INFORMATION

PROPOSED SITE PLAN

PROJECT INFORMATION

NEW DUMPSTER ENCLOSURE

2711-2753 SE MORNINGSIDE BLVD
 PORT ST LUCIE, FL 34952

CLIENT INFORMATION

ROX DEVELOPMENT
 1501 SE DECKER AVE. #410
 HOBE SOUND, FL 34994

SPECIALTY ENGINEERING CONSULTANTS, Inc.

1599 SW 30th AVE.
 SUITE #20
 BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
 FL. CA. #009217

641 - 752 - 5440 OFFICE
 641 - 752 - 5542 FAX

FILE NAME:

SCALE AS NOTED

DATE 5/16/2023

RVD. BY DAL

DRWN. BY KWP

REVISION

1

41-411-20002 P.A.C. - ALLOWS FOR NET SEAL, EMBOSSED SEAL, AND DIGITALLY CREATED SEALS. DIGITALLY CREATED SEALS ONLY (10/15/2020)

Dewey A. LeBlanc
 Digitally signed by Dewey A. LeBlanc
 Date: 2023.05.16 11:25:07 -0400

SEAL
 GARY MCDONOUGH, PE FL #56214
 D. MARK LEBLANC, PE FL #55653
 D. ADAM LEBLANC, PE FL #77012
 JESSICA F. DORNBLASER, AIA NCARB
 FLORIDA REGISTRATION #A97928

SHEET #

A101

NEW DUMPSTER ENCLOSURE

DRAWING INDEX

CS
A101
A201
S1

COVER SHEET
SITE PLAN
PROPOSED PLAN AND ELEVATIONS
STRUCTURAL

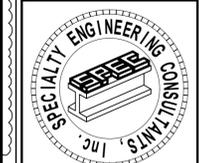
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SHEET INFORMATION
COVER SHEET

PROJECT INFORMATION
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PORT ST LUCIE, FL 34952

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FILE NAME:
SCALE AS NOTED
DATE 5/16/2023
RVD. BY DAL
DRWN. BY KWP

REVISION
1

41-415-2002 F.A.C. ALLOWS FOR MET SEAL, IMPROVED SEAL, AND FULLY CREATED SEAL. DIGITALLY SIGNED BY DEWEY A. LeBlanc
Date: 2023.05.16
11:27:25 -0400'

SEAL
GARY McDOUGLE, PE, FL #56214
D. MARK LeBLANC, PE, FL #55653
D. ADAM LeBLANC, PE, FL #77012
JESSICA F. DORNBLASER, AIA, NCARB
FLORIDA REGISTRATION #A957928

SHEET #
CS

GENERAL NOTES

- ALL WALLS SHALL RECEIVE (2) COATS (MIN.) FIRST QUALITY LATEX PAINT; COLOR AND FINISH TO BE SELECTED BY OWNER OR INLINE WITH LANDLORDS BUILDING STANDARD.
- NOT USED.
- ALL COLUMNS, CONC. WALLS AND WINDOW HEADERS AND SILLS SHALL BE FURRED TO MINIMUM DIMENSION POSSIBLE.
- PROVIDE FULLY DETAILED SHOP DRAWINGS FOR ALL ITEMS REQUIRING FABRICATION, I.E.: CASEWORK, MILLWORK, DOORS, AND CONSULT ARCHITECT / OWNER FOR HARDWARE SELECTIONS.
- DOOR SHALL BE 1-3/4" THICK MIN UNO.
- FINAL CLEAN & PUNCH LIST SHALL LEAVE SUITE IN AN "AS NEW" CONDITION. ALL TRADES SHALL BE RESPONSIBLE TO ENSURE THAT THE REQUIREMENTS OF THIS CONTRACT ARE MET.
- ALL WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR OR AS SPECIFIED BY DURING CONTRACT NEGOTIATION.
- THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT A201 (LATEST ADDITION) OR EQUAL SHALL BE MADE PART OF THIS CONTRACT.
- ALL ELECTRICAL OUTLETS OR SWITCHES TO MATCH EXISTING. IF ALL NEW PROVIDE "DECORA" TYPE IN WHITE.
- G.C. SHALL COORDINATE ALL ABOVE CEILING ELEMENTS, SYSTEMS WITH STRUCTURE TO ASSURE THAT ALL REQUIRED CLEARANCES ARE PROVIDED.
- PRIOR TO ANY CONSTRUCTION, G.C. SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THIS IS IMPORTANT DUE TO THE IRREGULAR CONFIGURATION OF SOME SPACE. IF QUESTION ARISES, THE G.C. SHALL NOTIFY ARCHITECT AT ONCE FOR CLARIFICATION. FAILURE OF THE G.C. OR THEIR SUBCONTRACTORS TO SECURE SUCH CLARIFICATION PRIOR TO PLACING THE WORK IN QUESTION SHALL PLACE ALL RESPONSIBILITY TO REMOVE SUCH WORK AND REINSTALL IN ACCORDANCE WITH THE ARCHITECTS INTERPRETATION.
- ALL DIMENSIONS ARE NOMINAL AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS. MINOR ADJUSTMENTS OR WALL LOCATIONS MAY BE NECESSARY. G.C. SHALL SUBMIT A REQUEST TO THE ARCHITECT OF RECORD IN SUCH CIRCUMSTANCES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER CODES HAVING JURISDICTION OVER THE PROJECT. IT IS RECOGNIZED THAT THE A/E/ CANNOT INCLUDE EVERY CODE REQUIREMENT OF THE APPLICABLE BUILDING CODES ON THE DRAWINGS.
- UNDER NO CIRCUMSTANCES SHALL DRAWING SETS BE BROKEN UP. FULL SETS SHALL BE SUPPLIED TO ALL SUBCONTRACTORS. NO CHANGES TO CONTRACT DRAWINGS SHALL BE MADE IN FIELD WITHOUT ARCHITECTS EXPRESSED WRITTEN PERMISSION.
- DRAWINGS SHOW SCHEMATIC SCOPE OF WORK. G.C. SHALL UNDERSTAND THAT OTHER WORK MAY BE REQUIRED OUTSIDE OF THE LIMITS SHOWN ON THESE DRAWINGS.
- ALL DOORS THAT ARE TO BE REUSED OR LEFT AS EXISTING SHALL BE REFINISHED AND FREE OF ANY AND ALL DEFECTS, BLEMISHES, SCUFFS OR SCRATCHES AS BEST AS POSSIBLE.
- G.C. SHALL REMOVE ALL UNUSED/ ABANDONED TELEPHONE, DATA, ELECTRIC WIRING AND CONDUIT FROM ABOVE CEILING AREAS.
- DIAGONAL BRACING SHALL BE ADDED AS REQUIRED FOR NEW WALLS AND EXISTING WALLS THAT REQUIRE SUPPORT DUE TO RECONFIGURATION OF SPACE.
- EXCEPT FOR FLOOR TILE ALL FLOORS WHICH ARE REQUIRED TO BE LEVEL SHALL BE LEVELED USING A FIRST QUALITY FLOOR-LEVELING COMPOUND PRIOR TO FLOOR FINISH INSTALLATION.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION. THE GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH FROM THE JOB SITE DAILY. ALL CONSTRUCTION DEBRIS MUST BE CONTAINED WITHIN THE OWNERS SPACE AND SHALL REMOVE SUCH DEBRIS AND CLEAN THE SPACE UPON COMPLETION. TEMPORARY TRASH STORAGE AND REMOVAL SHALL BE AT THE CONTRACTORS EXPENSE AND SHALL BE CONTAINED IN AN APPROVED TRASH CONTAINER LOCATED WHERE REQUIRED BY LANDLORD OR AHJ.

DESIGN CRITERIA

- FBC 2020 7th EDITION
ASCE 7-16
- BASIC WIND SPEED (WIND VELOCITY)
 - 170 MPH (VULT)
 - 132 MPH (VASD)
 - RISK CATEGORY II
 - BUILDING DESIGNED AS ENCLOSED
 - WIND IMPORANCE FACTOR 1.0
 - INTERNAL PRESSURE COEFFICIENT= +/- .18
 - EXPOSURE= C
 - NOMINAL WIND LOAD AS PER 1603.1.4 FBC
 - PERFORMANCE COMPLIANCE METHOD (EXISTING BUILDING)

PROJECT SCOPE

NEW CMU DUMPSTER ENCLOSURE FOR EXISTING COMMERCIAL PROPERTY.

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CONTACT INFORMATION

OWNER

SOUTHPORT PROPERTY INVESTMENTS
409 LIME AVE
DAYTONA BEACH, FL 32124

CIVIL ENGINEER

NOT APPLICABLE

LANDSCAPE ARCHITECT

NOT APPLICABLE

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER

NOT APPLICABLE

STRUCTURAL ENGINEER

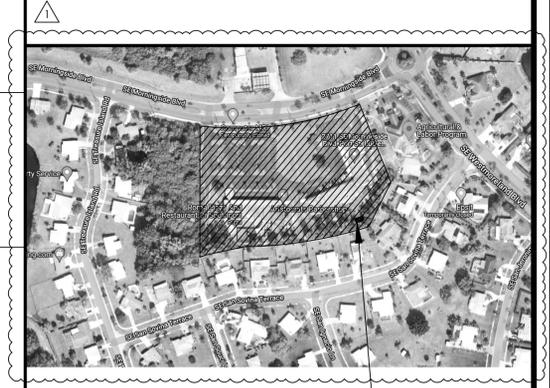
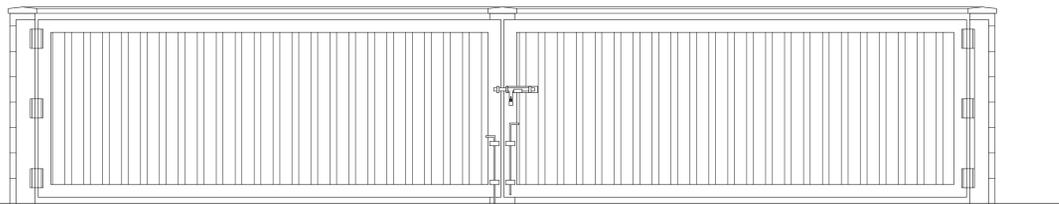
SPECIALTY ENGINEERING CONSULTANTS, INC.
1599 SW 30TH AVE.
SUITE #20
BOYNTON BEACH, FL. 33426

CONTRACTOR

NOT APPLICABLE

OTHER

NOT APPLICABLE



PROJECT LOCATION, PORT ST. LUCIE, FL

LOCATION MAP



NOT ALL OF THESE NOTES APPLY

PROPOSED ELEVATION

NTS

201	ROOM NUMBER	3'-6"	HEIGHT ABOVE FINISHED FLOOR
2	DOOR NUMBER	5	SECTION NUMBER
A	WINDOW TYPE	A601	SHEET NUMBER
A	WALL TYPE	ALIGN	ALIGN W/ ESTABLISHED SURFACE
6	DETAIL NUMBER	6	DETAIL NUMBER
A601	SHEET NUMBER	A601	SHEET NUMBER
5	ELEVATION		DETAILED AREA
A601	SHEET NUMBER		
1	ELEVATION	F1	ROOM FINISH DESIGNATION
A601	SHEET NUMBER		

SYMBOLS

ABV	ABOVE	DBL	DOUBLE
AJC	AIR CONDITIONING	DEMO	DEMOLISH, DEMOLITION
ACT	ACOUSTICAL	DEPT	DEPARTMENT
ADD	ACOUSTICAL TILE	DTL	DETAIL
ADH	ADDENDUM	DF	DRINKING FOUNTAIN
ADJ ADJT	ADHESIVE	DIA	DIAMETER
AFF	ADJACENT ADJUSTABLE	DIM	DIMENSION
ALT	ABOVE FINISHED FLOOR	DISP	DISPOSAL
ALUM	ALTERNATE	DN	DOWN
ANOD	ALUMINUM	DR	DOOR
AP	ANODIZED	DW	DISHWASHER
APPROX	ACCESS PANEL	DWG	DRAWING
ARCH	ARCHITECTURAL	DWR	DRAWER
AVG	AVERAGE	EA	EACH
BD	BOARD	EL	ELEVATION
BLDG	BUILDING	ELEC	ELECTRICAL
BLKG	BLOCKING	ELEV	ELEVATOR
BO	BOTTOM OF	EQ	EQUAL
		EQUIP	EQUIPMENT
CAB	CABINET	EW	ELECTRIC WATER COOLER
CG	CORNER GUARD	EWH	ELECTRIC WATER HEATER
CLG	CEILING	EXT	EXISTING
CLR	CLEAR(ANCE)	EXT	EXTERIOR
CLO	CLOSET	FA	FIRE ALARM
COL	COLUMN	FAP	FIRE ALARM PULL
CONC	CONCRETE	FD	FLOOR DRAIN
CONF	CONFERENCE	FE	FIRE EXTINGUISHER
CONST	CONSTRUCTION	FEC	FIRE EXTINGUISHER CABINET
CONT	CONTINUOUS, CONTINUE	FF	FINISHED FLOOR
CORR	CORRIDOR	FHC	FIRE HOSE CABINET
COUNT	COUNTER	FIN	FINISH(D)
CPT	CARPET	FIN	FINISH(D)
CT	CERAMIC TILE	FIXT	FIXTURE
CTR	CENTER	FLR	FLOORING

NA	NOT APPLICABLE	STO	STORAGE
NGVD	NATIONAL GEODETIC VERTICAL DATUM	STR	STRUCTURE
NIC	NOT IN CONTRACT	SUSP	SUSPENDED
NO	NUMBER	SYM	SYMMETRY(LICAL)
NOM	NOMINAL	TEL	TELEPHONE
NTS	NOT TO SCALE	THK	TEMPERED
OC	ON CENTER	TV	TELEVISION
OPNG	OPENING	TYP	TYPICAL
OPP	OPPOSITE	TZ	TERRAZO
P.LAM.	PLASTIC LAMINATE	UL	UNDERWRITER'S LABORATORY
PANL	PANEL	UNO	UNLESS NOTED OTHERWISE
PTD	PAINT(ED)	VB	VINYL BASE
PR	PAIR	VCT	VINYL COMPOSITION TILE
PSF	POUNDS PER SQUARE FOOT	VERT	VERTICAL
PSI	POUNDS PER SQUARE INCH	VEST	VESTIBULE
PT PIN	PRESSURE TREATED PARTITION	VWC	VINYL WALLCOVERING
PLYWD	PLYWOOD	WC	WATER CLOSET / TOILETS
QTY	QUANTITY	WD	WOOD
		W/O	WITHOUT
R	RISER(S)		
RAD	RADIUS		
RA REC	RETURN AIR RECESSED		
REFR	REFRIGERATOR REQUIRED		
REV Q'D	REVISION(S), REVISED		
REV RH	RIGHT HAND		
RM	ROOM		
SC	SOLID CORE		
SCH	SCHEDULE		
SHT	SHEET		
SIM	SIMILAR		
SPEC	SPECIFICATION(S)		
SQ SS	SQUARE STAINLESS		
STD	STEEL STANDARD		
STL	STEEL		

PSLUSSD #11-481-00 CITY OF PORT ST LUCIE PROJECT #P06-318-A1

MATERIAL LEGEND

EARTH	WOOD	PLASTER
GRAVEL	SHIM	STUCCO
SAND	FINISHED WOOD	ACOUSTICAL CEILING
CONCRETE	PLYWOOD	CERAMIC TILE
BRICK	STEEL	CARPET
MASONRY UNIT	INSULATION BATT	GLASS
MARBLE	INSULATION RIGID	SPANDREL
GRANITE	GYPSUM WALL BOARD	

FLOOR PLAN NOTES

1. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF STUD, MASONRY, CONCRETE, GRIDLINES, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COORDINATE DOOR AND WINDOW OPENINGS WITH DOOR AND WINDOW MANUFACTURER.

PROPOSED PLAN KEYED NOTES

- 1 NEW SLAB, MAX. 2% SLOPE. SEE STRUCTURAL FOR SLAB & FOUNDATION DETAILS
- 2 8" CMU WALL, TYP. SEE STRUCTURAL FOR DETAILS. CMU ENCLOSURE SHALL BE FINISHED WITH STUCCO, TEXTURED AND PAINTED TO MATCH THE EXISTING BUILDING PER PSL CODE OF ORDINANCES SEC. 158.232(B)
- 3 6x6 STEEL TUBE FASTENED WITH STEEL ANGLES TO CONCRETE WALL. SEE STRUCTURAL
- 4 CUSTOM FABRICATED METAL GATE. G.C. TO OBTAIN SHOP DRAWINGS TO BE APPROVED BY OWNER BEFORE FABRICATION & INSTALLATION. GATE FACTORS SHALL BE OPAQUE PER PSL CODE OF ORDINANCES SEC. 158.232(B)
- 5 HOLES FOR CANE BOLTS
- 6 PRECAST CONCRETE WALL CAP
- 7 STEEL HINGE FOR CUSTOM METAL GATE, ATTACHMENT PER MANUFACTURER.
- 8 DROP PIN ASSEMBLY
- 9 LOCKABLE LATCH BOLT ASSEMBLY
- 10 RECYCLING SIGN PER PSL CODE OF ORDINANCES SEC. 158.232(B)

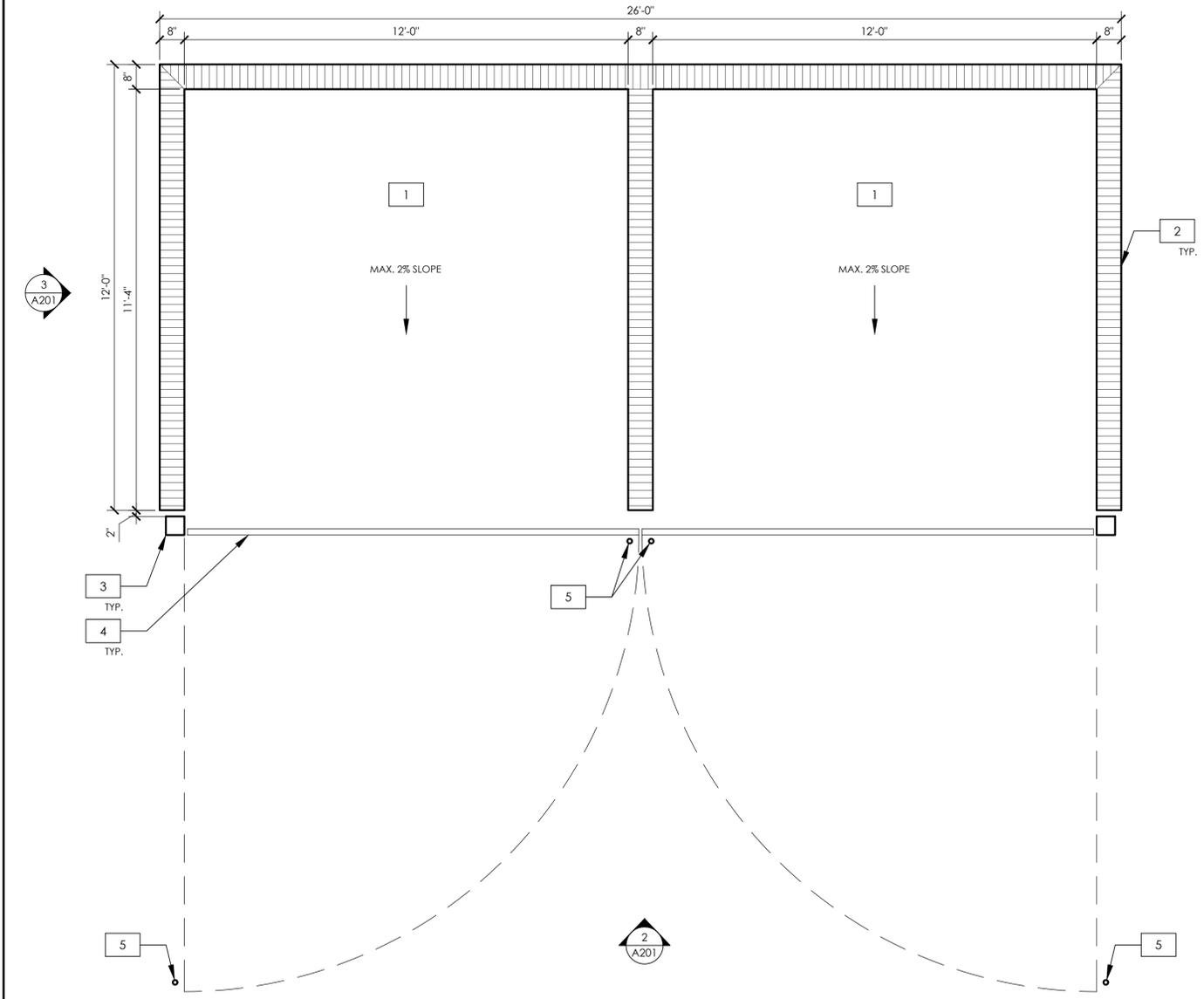
WALL TYPES

- NEW CMU WALL
- EXISTING WALL TO REMAIN
- NEW INTERIOR WALL USE MR BOARD AT WET AREAS

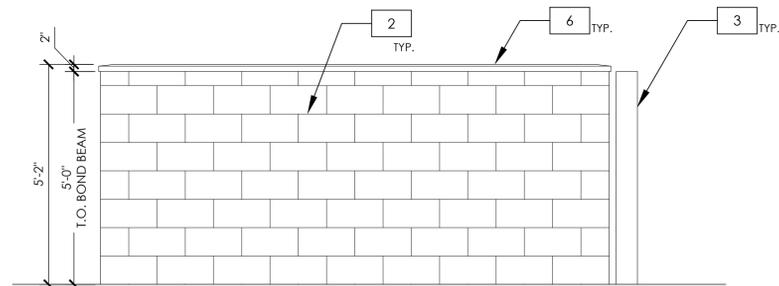
AREA CALCULATIONS

NEW DUMPSTER ENCLOSURE	325 SQ FT
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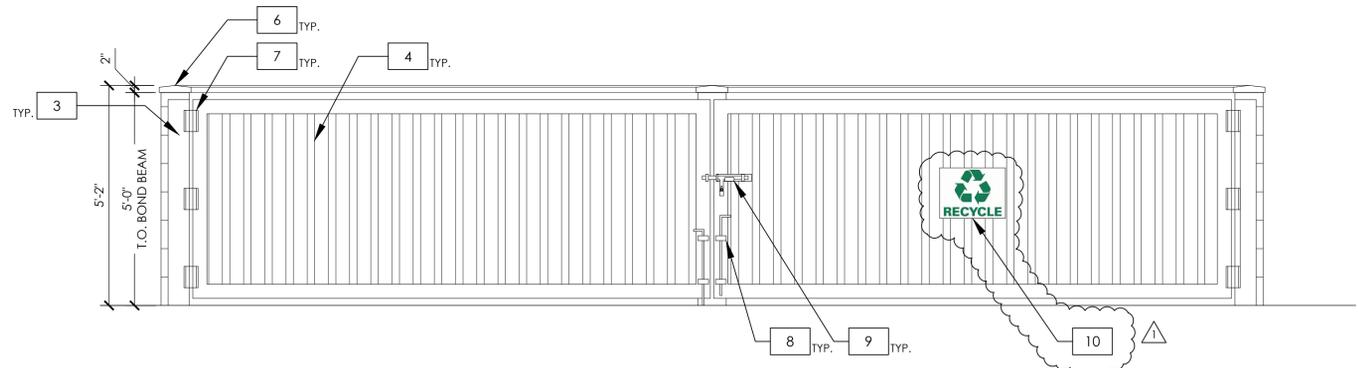
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1 PROPOSED PLAN 1/2" = 1'-0"



3 PROPOSED ELEVATION 1/2" = 1'-0"



2 PROPOSED ELEVATION 1/2" = 1'-0"

PSLUSD #11-481-00 CITY OF PORT ST LUCIE PROJECT #P06-318-A1

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5/15/2023 CORRECTIONS

SHEET INFORMATION
DEMOLITION PLAN,
PROPOSED PLAN,
RCP AND
ROOF PLAN

PROJECT INFORMATION
NEW DUMPSTER ENCLOSURE
2711-2753 SE MORNINGSIDE BLVD
PORT ST LUCIE, FL 34952

CLIENT INFORMATION
ROX DEVELOPMENT
1501 SE DECKER AVE. #410
HOBE SOUND, FL 34994



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561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:
SCALE AS NOTED
DATE 5/16/2023
RVD. BY DAL
DRWN. BY KWP

REVISION 1

ALL DIMENSIONS & AREAS SHALL BE FOR THE FINAL BARGAINED SEAL AND DIGITALLY CREATED SEAL. DIGITALLY CREATED SEAL SHALL BE COMPANY'S PROPERTY #1015-00023

Dewey A. LeBlanc
Digitally signed by Dewey A. LeBlanc
Date: 2023.05.16 11:28:08 -0400

SEAL
GARY McDOUGLE, PE FL #56214
D. MARK LeBLANC, PE FL #35685
D. ADAM LeBLANC, PE FL #77010
JESSICA F. DORNBLASER, AIA NCARB
FLORIDA REGISTRATION AR97928

SHEET #
A201