

Site Data:

Total Site Area:	104,691 sf. (2.40 Ac.)
Impervious Area:	40,499 sf. (0.93 Ac.) (39%)
Buildings:	8,050 sf. (0.19 Ac.)
Vehicular Use Area:	27,923 sf. (0.64 Ac.)
Sidewalk Areas:	4,526 sf. (0.10 Ac.)
Pervious Area:	64,192 sf. (1.47 Ac.) (61%)
Landscape Area:	48,654 sf. (1.12 Ac.)
Retention Area:	4,450 sf. (0.10 Ac.)
Overflow Parking:	6,620 sf. (0.15 Ac.)
Stabilized Parking:	4,468 sf. (0.10 Ac.)

Existing Zoning: MPUD
 Future Land Use Designation: NCD
 Existing Use: Vacant



Building Data

Gross Floor Area:	8,050 sf
Maximum Height:	50' (4 Stories)
Proposed Height:	22' - 1 Story
Building Coverage: (8,050 sf / 104,691 sf)	8%
Open Space: (59,724 sf / 104,691 sf)	57%

Building Setback Requirements

	Required	Provided
Rear	25'	34'
Front	25'	108'
Side	10'	103'
Side	10'	125'

Parking Requirements

Parking Required:	22 Spaces
Enclosed Assembly Area - 4,350 sf: 1 space per 200 sf @ 4,350 sf:	22 spaces.
Parking Provided:	81 Spaces
Includes 40 Paved Spaces (4 ADA Provided)	
Includes 23 Stabilized Spaces	
Includes 18 Stabilized Overflow Spaces	
(5) Cart Parking Spaces 6'x16' (not included in calculations)	

- General Notes:**
- Hazardous waste disposal shall comply with all federal, state and local regulations.
 - A separate sign permit is required for site signage.
 - All landscape areas abutting vehicular use areas shall be curbed or protected by curb stops.
 - All building, parking and access areas shall document compliance with the requirements of the American Disabilities Act prior to the issuance of a building permit.
 - Proposed light poles shall be shielded to minimize excess glare to adjacent residential areas and roadways.
 - Soil erosion and sediment control devices shall be in place prior to the commencement of construction activities.
 - Existing elevations are shown as ϕ and are given in feet above mean sea level (NAVD 1988).
 - Landscaping shall be in accordance with the requirements of chapter 154 of the landscape code of the City of Port St. Lucie.
 - No landscaping other than grasses shall be located within 10' of a City utility line or appurtenance. All other utilities shall be a minimum of 5' horizontal separation from City utility mains for parallel installations and a minimum 18" below City mains. (All measurements are taken from outside to outside.)
 - No landscaping shall be placed in a manner that would create conflicts with the intended operation and maintenance of any existing utility.
 - This application is not vested for any municipal fees. All fees are calculated at time of payment. This includes specifically impact fees, upland preserve fees and any administrative review fees for City Departments. No fees are vest based on date of City Council approval.
 - Signs are not part of this review and shall be permitted separately from this application. (See Chapter 155 (Sign Code) City of Port St. Lucie Land Development Regulations.)
 - All invasive plant species shall be removed from the site prior to issuance of Certificate of Occupancy.
 - The property owner, contractor, and authorized representative shall provide pickup, removal, and disposal of litter within the project limits and shall be responsible for maintenance of the area from the edge of pavement to the property line within the City's right-of-way in accordance with City Code, Section 41.08 (g).
 - Proposed Cross Access Easement shall be finalized and recorded at the time of detail plan review.

Drainage Note:

- Project is required to meet the requirements of SFWMD and the City of Port St. Lucie.
 - On site stormwater drainage shall be a detention area. Water quality and continuation will be provided in accordance with the SFWMD permit.

Legal Description:

TRACT A, TRADITION PLAT NO. 58, LOT 2 REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 71, PAGE(S) 14, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING 104,691 SQUARE FEET OR 2.40 ACRES, MORE OR LESS.

Environmental Statement:

- All upland preserve requirements have been satisfied within the Tradition DRI and not applicable to this project site.
 - There was one gopher tortoise burrow observed on the subject property. The burrow is classified as "Potentially Occupied". Two burrows were observed about 5-10 feet off of the northern property line. The burrow entrances are located under an existing cinder block wall and the burrow tunnels are not on the subject property. A perimeter silt fence and barricade on the subject property should be sufficient to address these burrows. No other listed species of flora or fauna was found to utilize the subject property, nor were any other indicators of listed species noted on the subject property (scat, burrows, nests, dens, etc.) on the day of the gopher tortoise survey. A gopher tortoise relocation permit will be required prior to commencement of construction activities.

Traffic Statement:

INSTITUTE OF TRANSPORTATION ENGINEERS TRIP GENERATION, 10th EDITION CHURCH (560) (BASED ON NUMBER OF SEATS = 150) (AVERAGE RATES UTILIZED)

	TRIPS
WEEKDAY DAILY TRIPS (CHURCH - 560)	66
WEEKDAY, A.M. PEAK HOUR TRIPS (CHURCH - 560)	3
WEEKDAY, P.M. PEAK HOUR TRIPS (CHURCH - 560)	6
SATURDAY, PEAK HOUR TRIPS (CHURCH - 560)	66
SUNDAY, PEAK HOUR TRIPS (CHURCH - 560)	81

Project Team:

Applicant / Property Owner:
 Living Faith Church at Tradition
 10360 SW Village Center Dr., Suite 218
 Port St. Lucie, FL 34987

Land Planner / Landscape Architect:
 Lucido & Associates
 701 E. Ocean Blvd
 Stuart, Florida 34994
 772-220-2100

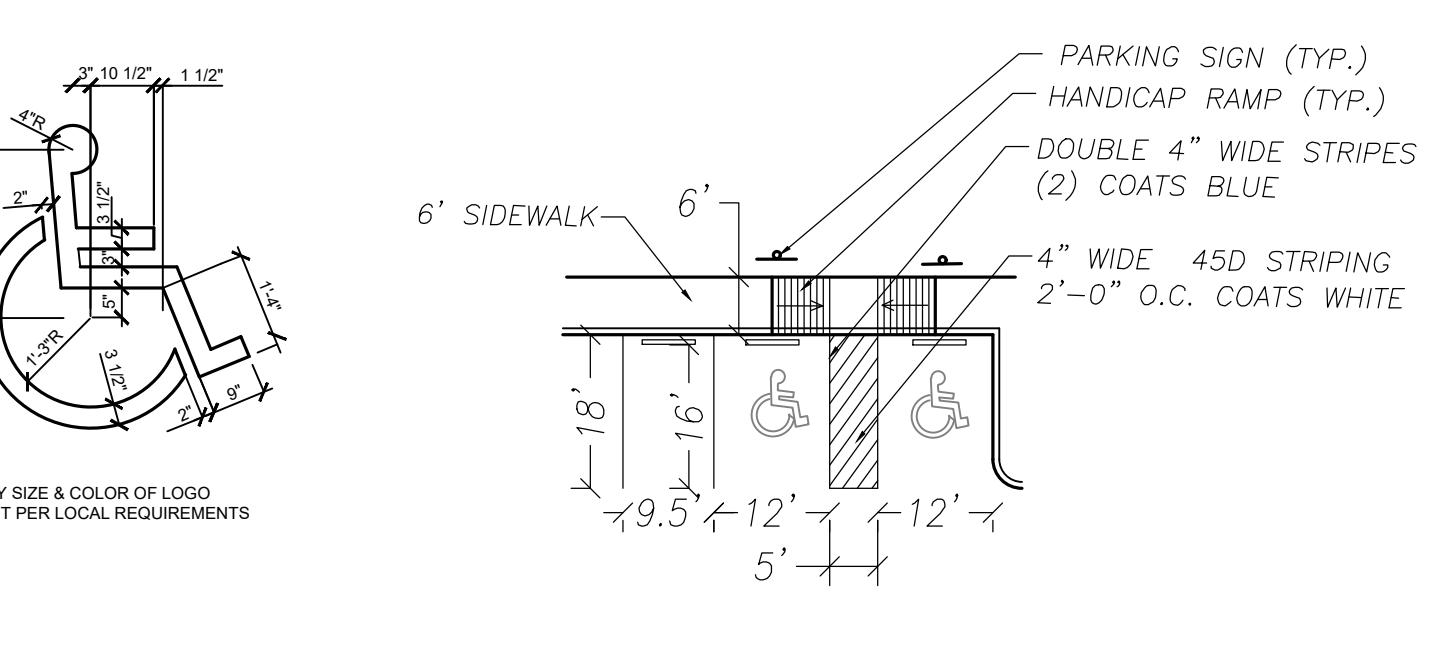
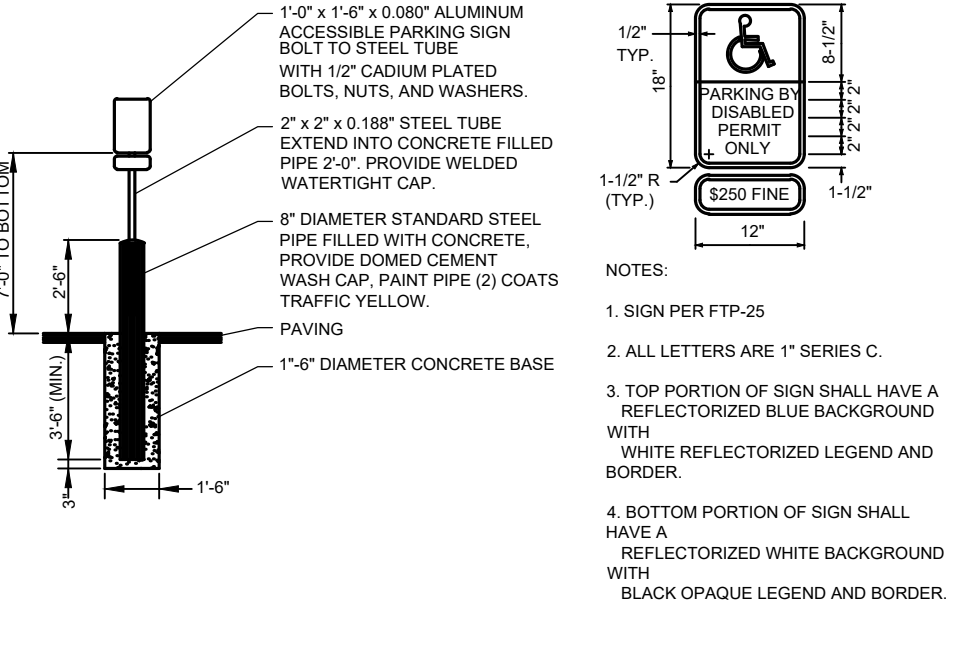
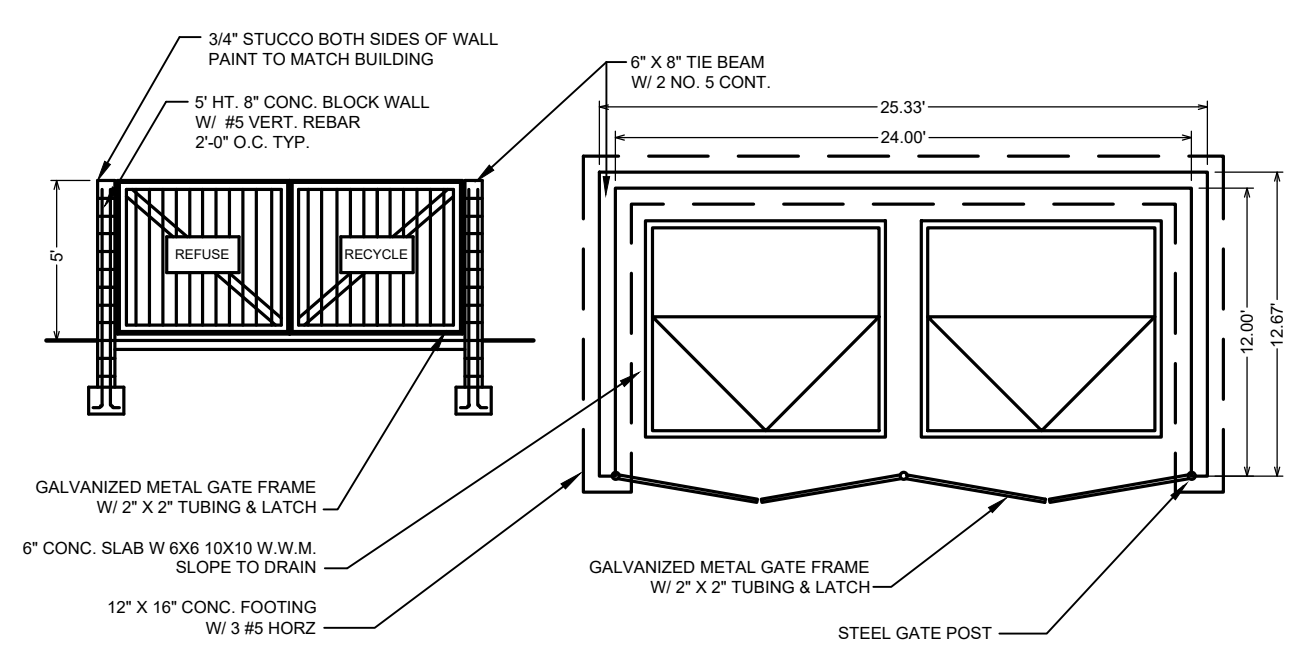
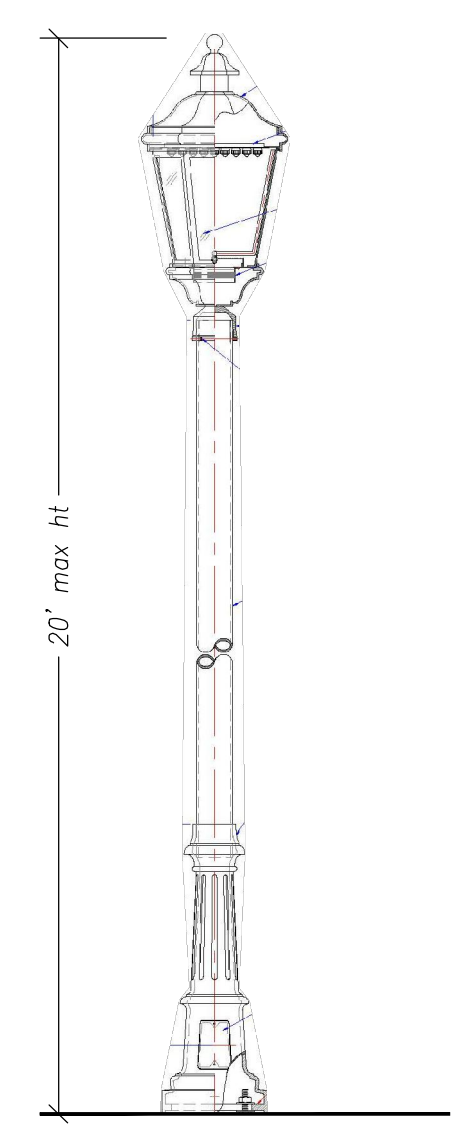
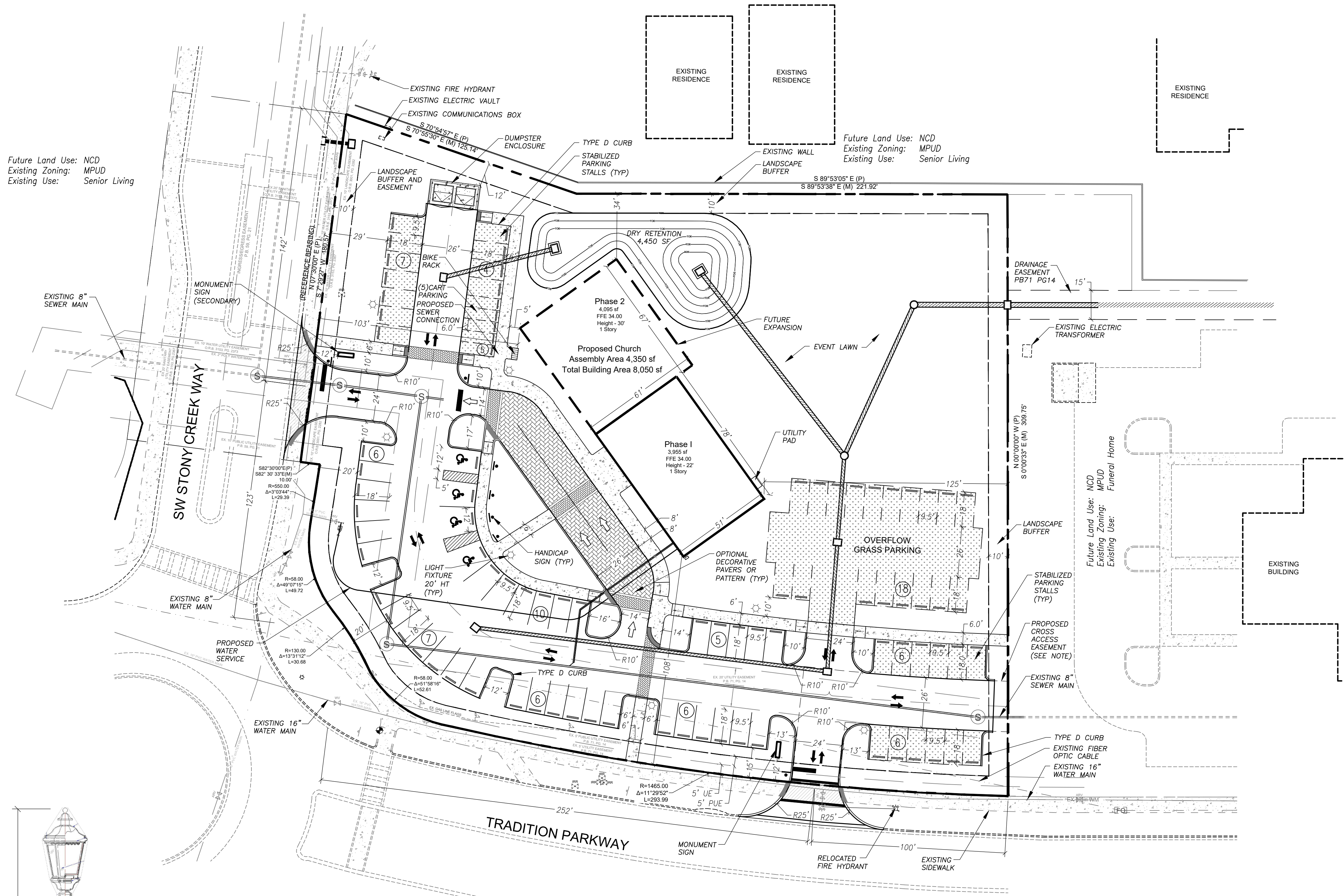
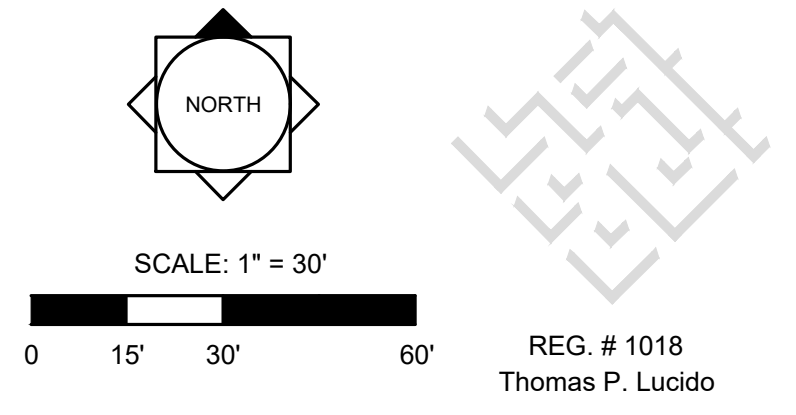
Engineer/Surveyor:
 EDC
 10250 Village Parkway
 Port St. Lucie, Florida 34987
 772-462-2455

Living Faith Church Site Plan

Port St. Lucie, FL

City of Port St. Lucie P# 19-111
 PSLUSD No. 5345

Date	By	Description
7-02-19	SAW	Site Plan Submittal
8-29-19	MRY	Response to SPRC Comments
9-30-19	MRY	Response to Planning Comments
10-18-19	MRY	Response to Planning Comments
11-4-20	MRY	Detail Plan Submittal, Bldg Update



◇ TYPICAL LIGHTING DETAIL
 Scale: nts

◇ TRASH DUMPSTER & RECYCLING ENCLOSURE
 Scale: nts

◇ ACCESSIBLE PARKING SIGN AND LOGO
 Scale: nts

◇ HANDICAP AND TYPICAL PARKING SPACE DETAIL
 Scale: nts