

LOCATION MAP

ADDRESS

LOT 1 - 863 NE TRAILSIDE RUN
LOT 2 - 857 NE TRAILSIDE RUN
LOT 3 - 851 NE TRAILSIDE RUN
LOT 4 - 845 NE TRAILSIDE RUN
LOT 5 - 839 NE TRAILSIDE RUN
LOT 6 - 833 NE TRAILSIDE RUN

ALL IN PORT ST. LUCIE, FL. 34983

PERMIT NUMBERS

LOT 1 - 3416-679-0061-000-7
LOT 2 - 3416-679-0062-000-4
LOT 3 - 3416-679-0063-000-1
LOT 4 - 3416-679-0064-000-8
LOT 5 - 3416-679-0065-000-5
LOT 6 - 3416-679-0066-000-2

LEGEND

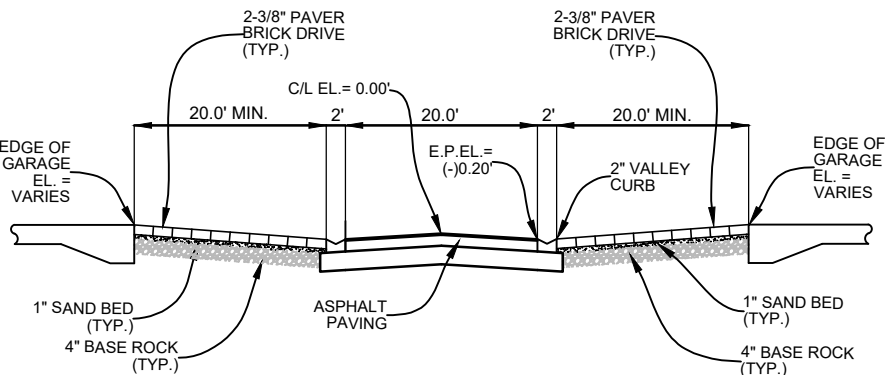
C = CALCULATED
M = MEASURED
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PUE = PUBLIC UTILITY EASEMENT
IEE = INGRESS EGRESS EASEMENT
○ = SANITARY CLEAN OUT
R = RADIUS
L = LENGTH OF ARC
EL = ELEVATION
Δ = CURVE CENTRAL ANGLE
CB = CATCH BASIN
ORB = OFFICIAL RECORD BOOK
PB = PLAT BOOK
IR&C = IRON ROD AND CAP
C.M. = CONCRETE MONUMENT
PCP = PERMANENT CONTROL POINT
UE = UTILITY EASEMENT
W.M. = WATER METER
RW = RIGHT-OF-WAY
⊕ = CENTERLINE
⊔ = PROPERTY LINE
○ = SET IRON ROD & CAP LB 2438
● = FOUND IRON ROD & CAP
⊙ = PERMANENT CONTROL POINT
△ = NAIL AND WASHER / LB 2438
P = PLAT

LEGAL DESCRIPTION

LOTS 1 - 6, BLOCK 11, ACCORDING TO THE PLAT OF RIVER PLACE ON THE ST. LUCIE PLAT NO. 8, AS RECORDED IN PLAT BOOK 72, PAGE 1, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING 14,563.07 SQ. FT. (0.334 AC.) MORE OR LESS

PAVER DRIVE DETAIL *(TYPICAL ROAD SECTION)



AREAS FOR QUANTITY TAKEOFFS	SQ. FT.
PAVER DRIVEWAY, SIDEWALKS, PATIOS	3,035
PERVIOUS LOT AREA (SOD)	4,460

SURVEYOR'S NOTES:

1. THE BEARINGS SHOWN HEREON ARE REFERENCED TO A PLATTED BEARING OF NORTH 08 DEGREES, 59 MINUTES, 04 SECONDS WEST ALONG THE CENTERLINE OF TRAILSIDE RUN AS SHOWN HEREON.
2. NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THIS OFFICE, EXCEPT FOR THE RECORD PLAT FOR LOTS, EASEMENTS AND TRACTS DEPICTED ON SAID PLAT
3. NO BELOW GROUND UTILITIES OR SUB-SURFACE IMPROVEMENTS WERE LOCATED BY THIS OFFICE.
4. THERE MAY BE EASEMENTS, RESERVATIONS, RIGHTS OF WAY, OR OTHER ENCUMBRANCES UPON THE SUBJECT PROPERTY WHICH MAY BE REVEALED BY A SEARCH OF THE PUBLIC RECORDS.
5. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)
6. BEARINGS AND DISTANCES AS SHOWN HEREON ARE PLATTED AND MEASURED UNLESS OTHERWISE NOTED.
7. ALL EASEMENTS, LOTS, TRACTS AND IMPROVEMENTS AS SHOWN HEREON ARE PER THE PLAT OF RIVER PLACE ON THE ST. LUCIE PLAT NO. 8 AND CIVIL DESIGN PLANS AS FURNISHED BY THE CLIENT UNLESS OTHERWISE NOTED.
8. PROPOSED FINISHED FLOOR ELEVATION = 11.85.
9. SUBJECT PARCEL AREA = 14,563.07 SQUARE FEET OR 0.334 ACRES MORE OR LESS. (TOTAL AREA FOR BLOCK 11)
10. PROPERTY SHOWN HEREON LIES IN FLOOD ZONE "X" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF PORT ST. LUCIE COMMUNITY NO. 120287, MAP NO. 12111C0276K, MAP REVISED FEB. 19, 2020.
11. SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE BY RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, AS ADOPTED BY THE BOARD OF PROFESSIONAL SURVEYORS & MAPPERS, PURSUANT TO SECTION 472 FLORIDA STATUTES.

5/22/2023
DATE OF LAST FIELD WORK

5/25/2023
DATE OF SIGNATURE

LESLIE C. BISPOTT
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA CERTIFICATE NO. 5698

UNLESS THIS DOCUMENT BEARS THE SIGNATURE AND THE ORIGINAL SEAL OF A LICENSED SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



MICHAEL B. SCHORAH & ASSOCIATES, INC.
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LB# 2438
1850 FOREST HILL BLVD., SUITE 206
WEST PALM BEACH, FLORIDA 33406

PROJECT:
HAWKS RIDGE
NE. TRAILSIDE RUN

DESCRIPTION:
BOUNDARY SURVEY FOR
LOTS 1 - 6, BLOCK 11

DRAWN/CHECKED:
JET / L.C.B.

SCALE:
1" = 20'

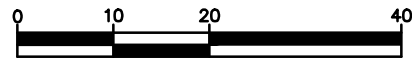
DATE: MAR., 2023

REVISIONS:

JOB NO. 1813
SHEET NO. 1

OF 2

GRAPHIC SCALE

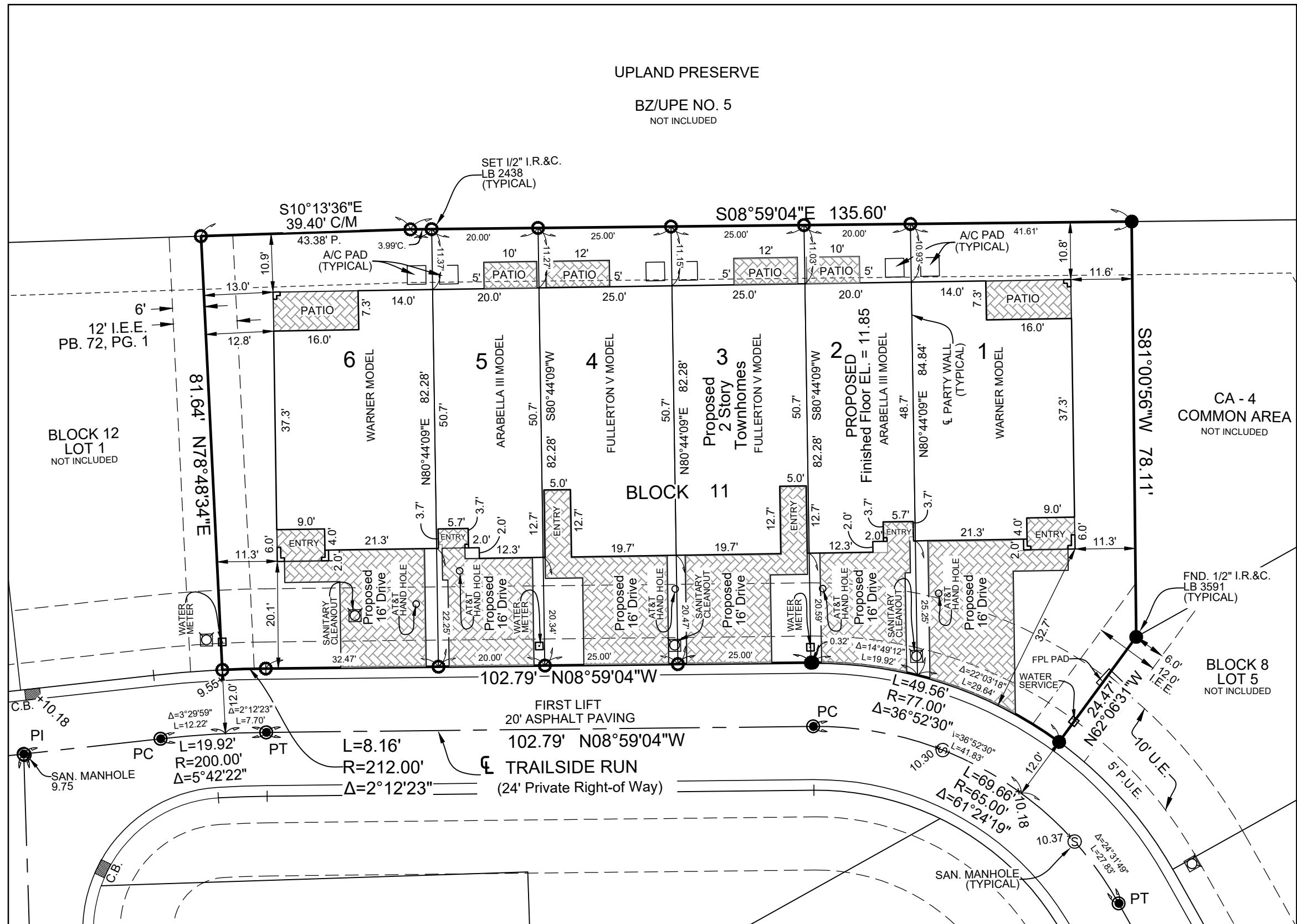


(IN FEET)
1 inch = 20 ft.



UPLAND PRESERVE

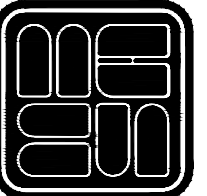
BZ/UPE NO. 5
NOT INCLUDED



NOTE: ELEVATIONS
ARE NAVD 88

LEGEND

- BZ = BUFFER ZONE
U.P.E. = UPLAND PRESERVE EASEMENT
I.E.E. = INGRESS / EGRESS EASEMENT
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