

#182



**CITY OF PORT ST. LUCIE**  
**PUBLIC WORKS DEPARTMENT**  
**Residential (Single-Family) & Pool Permit Application**  
July 2023

RECEIVED

AUG 02 2023

PUBLIC WORKS

Per City Ordinance 57.01 "Commercial and Residential Permits will be valid for a period of one year after date of issuance/approval.  
If no site work has occurred within this time, the permit is null and void and no fees will be refunded."

RP# 65128	Check One:	<input checked="" type="checkbox"/> Inside Lot	<input type="checkbox"/> Corner Lot	<input type="checkbox"/> Pools (No Spas)	<input type="checkbox"/> Additional Driveway	<input type="checkbox"/> Curb/Gutter (Developments)
	Home Owner Builder:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Contractor Key # (From Bldg Dept):		12391	12003
	Licensed Name:	Joyce Villar	Bldr/Homeowner Bldr Name:		K. Hovnanian SEFL	
	Phone:	561-232-7766	Affordable Housing (involving federal, state, or local funds):		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Contact Name:	Kevin Wirth	Email:		kwirth@khov.com	
	Driveway Material:	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Pavers	<input type="checkbox"/> Asphalt	Other:	
	Pool Deck Material:	<input type="checkbox"/> Concrete	<input type="checkbox"/> Pavers	<input checked="" type="checkbox"/> N/A		
	Property Information:	Lot(s): 5	Block: 1395	Section/Unit or Subdivision/Plat: 14		
	Address:	2971 SW Savona Blvd.				
	PERMIT#					

CITY OF PORT ST. LUCIE  
PUBLIC WORKS DEPT.  
APPROVED

Stakeouts typically take 4-6 weeks after request.  
\*\*Please do not write below\*\*

BY EM DATE 8/2/23

Minimum Required Setback: Front: 25 Left Side: 10 Right Side: 10 Rear: 25

Minimum Required FFE (Finished Floor Elevation): 25.83 NAVD  
(NOTE: For Building in special Flood Hazard areas, the finished floor elevation must be at least 1 foot above the base flood elevation.)

Rejection #1 Fee: Rejection #2 Fee: Rejection #3 Fee:

**\*\*For questions regarding inspections or PLOT PLAN rejections, please call Public Works at (772) 871-5177\*\***

If the proposed residence will be built across 2 lots, the following utility companies must be notified in order to vacate the two 6-foot side easements.

Comcast:	Anthony Springsteel	<a href="mailto:Anthony.Springsteel@cable.comcast.com">Anthony.Springsteel@cable.comcast.com</a>	772-321-3425
AT&T:	Mr. Ivan Arill	<a href="mailto:la7286@att.com">la7286@att.com</a>	321-388-9719
Florida Power & Light:	April Parker (Everything west of Turnpike, Crosstown south Bayshore up to Floresta, Southbend, and Becker Rd.) <a href="mailto:April.Parker@fpl.com">April.Parker@fpl.com</a>		
Florida Power & Light:	Laura Goez (Crosstown north, St. Lucie West, Torino, Bayshore up to St. James to Midway Rd.) <a href="mailto:Laura.Goez@fpl.com">Laura.Goez@fpl.com</a>		
Florida City Gas:	Generic Mailbox: <a href="mailto:FCG-Engineering.SharedMailbox@nexteraenergy.com">FCG-Engineering.SharedMailbox@nexteraenergy.com</a>		

## NOTES\*

- 1) MINIMUM 12" TEMPORARY PIPE REQUIRED IN CITY RIGHT OF WAY OR A REJECTION FEE WILL BE INCURRED IF NOT INSTALLED.
- 2) PER CITY CODE 51.04(4)(E) – 80% IS THE MAXIMUM PERMISSIBLE IMPERVIOUS AREA ALLOWED.
- 3) ARTIFICIAL GRASS IS PROHIBITED IN THE CITY RIGHT OF WAY AND ALL CITY EASEMENTS.
- 4) SIDEWALKS WITHIN THE CITY RIGHT OF WAY MUST BE CONCRETE AND MEET ALL ADA REQUIREMENTS. SIDEWALK CLOSURE REQUEST FORMS ARE REQUIRED AND SIDEWALK CLOSED SIGNS MUST BE IN PLACE.
- 5) MUST INSTALL SILT FENCE ALONG DITCH, CANAL, TRACT, OR WATERWAY.

Other:

**CULVERT PIPE TO BE  
SIZED AT STAKEOUT**

\*For Pool Permit Only\*

Final Inspection Approval Date: Inspector:

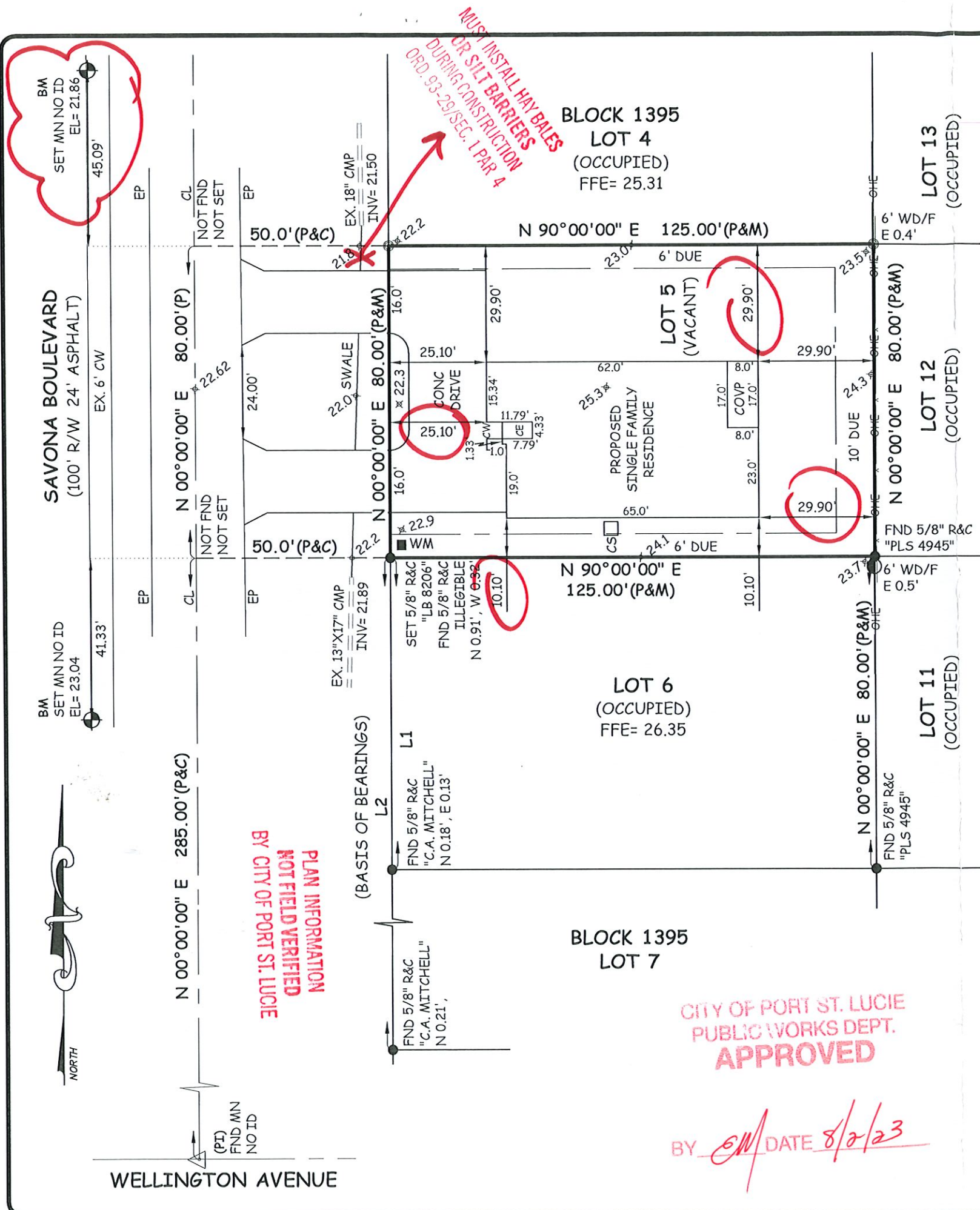
### General Permit Requirements

1. The work performed shall not adversely affect the public's health, safety, or general welfare, and shall be conducted and maintained in a safe and sanitary condition at the sole cost, risk, and responsibility of the permittee. The City may issue a stop work order for any work that is creating a threat to the public's health, safety, or general welfare, or if the work is not in accordance with the approved permit.
2. The City reserves the right to require additional requirements or reject the request if the permittee has failed to comply with the requirements of a permit.
3. The work shall be completed in accordance with the approved permit.
4. The permittee shall notify the city for the following inspections: culvert stakeout, driveway, and final.
5. The work shall not alter the material, slope, or finish of a sidewalk that is adjacent to or bisects the driveway.
6. Contractors will be responsible for the repair of any roadway damaged during construction. When damage to roadway is noted, a police report as well as damage claim will be filed. The City will then contract with an appropriate vendor to conduct repair. The contractor will be responsible for all costs associated with the repair and will be contacted by the City's Risk Management Department for subrogation.
7. Any time a sidewalk is being removed; a sidewalk closure request form is required. (See requirements on the link below).

<https://www.cityofpsl.com/government/departments/public-works/commercial-residential-review-permitting>

8. Must install silt fence along all ditches, canals, or waterways.
9. Must protect all City culvert pipes from debris. Contractor may be required to clean all City pipes if not protected during construction.

I, Joyce Villar, intending to be legally bound, hereby certify that the work authorized by the issuance of this permit will be installed in accordance with all applicable Port St. Lucie City Codes of Ordinances and other appropriate permits and that I have read and acknowledge the General Permit Requirements as provided above.



### LEGEND

- BM = BENCHMARK
- (C) = CALCULATED
- CE = COVERED ENTRY
- CL = CENTERLINE
- CMP = CORRUGATED METAL PIPE
- CONC = CONCRETE
- COVP = COVERED PORCH
- CS = CONCRETE SLAB
- CW = CONCRETE WALK
- DUE = DRAINAGE & UTILITY EASEMENT
- EL = ELEVATION
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FFE = FINISH FLOOR ELEVATION
- FND = FOUND
- ID = IDENTIFICATION
- INV = INVERT
- LB = LICENSE BUSINESS
- (M) = MEASURED DISTANCE
- MN = MAGNETIC NAIL
- OHE = OVERHEAD ELECTRIC
- (P) = PLAT DISTANCE
- (PI) = POINT OF INTERSECTION
- PLS = PROFESSIONAL LAND SURVEYOR
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- R&C = IRON ROD & CAP
- R/W = RIGHT OF WAY
- WD/F = WOOD FENCE
- WM = WATER METER

- ★ 22.62 = SPOT ELEVATION
- = SET 5/8" R&C "LB 8206"
- = WOOD POWER POLE

### LINE CHART

- L1  
N 00°00'00" E 80.00'(P)  
N 00°05'47" E 79.82'(M)
- L2  
(BASIS OF BEARINGS)  
N 00°00'00" E 160.00'(P)  
N 00°00'00" E 159.79'(M)

**LEGAL DESCRIPTION:** LOT 5, BLOCK 1395, PORT ST. LUCIE SECTION FOURTEEN, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 13, PAGE(S) 5, 5A THROUGH 5F, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

**ADDRESS:** 2971 SW SAVONA BOULEVARD  
PORT ST. LUCIE, FL. 34953

### NOTES:

SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.

ELEVATIONS ARE IN FEET AND RELATED TO CITY OF PORT ST LUCIE BENCHMARK "PSL1932", HAVING A PUBLISHED ELEVATION OF 23.72 FEET NAVD (NORTH AMERICAN VERTICAL DATUM). ALL OTHER ELEVATIONS ARE RELATIVE THERETO.

BEARINGS SHOWN HEREON ARE BASED UPON A PLATTED MERIDIAN, ALONG THE EASTERLY RIGHT OF WAY OF SAVONA BOULEVARD, HAVING A PLATTED BEARING OF N 00°00'00" E. ALL OTHER BEARINGS ARE RELATIVE THERETO.

PROPERTY LIES IN A NON-PRINTED PANEL F.I.R.M. ZONE "X", AS PER MAP NUMBER 12111C0275 J, DATED 2/16/12. FLOOD ZONES ARE APPROXIMATE AS SCALED FROM FLOOD INSURANCE RATE MAPS.

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

UTILITIES SHOWN HEREON ARE VISIBLE ABOVE GROUND FEATURES. ADDITIONAL SUBSURFACE UTILITIES AND OR FEATURES MAY EXIST.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THE EXPECTED USE OF THE SURVEY AND MAP IS RESIDENTIAL.

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD USING FEET.

ALL DIRECTIONAL MEASUREMENTS SHOWN ARE IN THE FORMAT OF DEGREES, MINUTES AND SECONDS.

PUBLIC WATER & SEWER AVAILABLE.

LEGAL DESCRIPTION FROM CORPORATE WARRANTY DEED, AS RECORDED IN OFFICIAL RECORD BOOK 3253, PAGE 2443, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LOT CONTAINS 10,000 SQUARE FEET.

BOUNDARY & TOPOGRAPHIC SURVEY FIELD DATE: 4/17/23.

**CERTIFIED TO:** K. HOVNANIAN SOUTHEAST FLORIDA DIVISION, LLC.

*R.F. Kemerson*

ROBERT F. KEMERSON  
PROFESSIONAL SURVEYOR AND MAPPER  
STATE OF FLORIDA (PSM)#6285

**VELCON ENGINEERING & SURVEYING, LLC**  
CERTIFICATE OF AUTHORIZATION NO. LB 8206  
1449 NW COMMERCE CENTRE DRIVE  
PORT ST. LUCIE, FLORIDA 34986  
PHONE (772) 879-0477  
Web Site: www.velconfi.com



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
PREPARED FOR  
**K. HOVNANIAN SOUTHEAST FLORIDA DIVISION, LLC**

BY:	DATE:	REVISED	REVISIONS
SC	8/01/23		

DRAWN BY:  
SC  
APPROVED BY:  
R. KEMERSON  
SCALE:  
1" = 30'  
DATE:  
4/21/23  
FIELD BOOK/PAGES  
SURVEY MAP

JOB NUMBER:  
23-2073

SHEET:  
1 OF 1