

#182



CITY OF PORT ST. LUCIE
PUBLIC WORKS DEPARTMENT
Residential (Single-Family) & Pool Permit Application
July 2023

RECEIVED

AUG 02 2023

PUBLIC WORKS

Per City Ordinance 57.01 "Commercial and Residential Permits will be valid for a period of one year after date of issuance/approval.
If no site work has occurred within this time, the permit is null and void and no fees will be refunded."

Form fields including: Check One: X Inside Lot, Corner Lot, Pools (No Spas), Additional Driveway, Curb/Gutter (Developments); Home Owner Builder: Yes X No; Contractor Key #: 12391 12003; Licensed Name: Joyce Villar; Bldr/Homeowner Bldr Name: K. Hovnanian SEFL; Phone: 561-232-7766; Affordable Housing: Yes X No; Contact Name: Kevin Wirth; Email: kwirth@khov.com; Driveway Material: X Concrete; Pool Deck Material: Concrete, Pavers X N/A; Property Information: Lot(s): 5, Block: 1395, Section/Unit or Subdivision/Plat: 14; Address: 2971 SW Savona Blvd.

RP# 05128

PERMIT#

CITY OF PORT ST. LUCIE
Stakeouts typically take 4-6 weeks after request.
\*\*Please do not write below\*\*
PUBLIC WORKS DEPT.
APPROVED

BY EM DATE 8/2/23

Minimum Required Setback: Front: 25 Left Side: 10 Right Side: 10 Rear: 25

Minimum Required FFE (Finished Floor Elevation): 25.83 NAVD
(NOTE: For Building in special Flood Hazard areas, the finished floor elevation must be at least 1 foot above the base flood elevation.)

Rejection #1 Fee: Rejection #2 Fee: Rejection #3 Fee:

\*\*For questions regarding inspections or PLOT PLAN rejections, please call Public Works at (772) 871-5177\*\*

If the proposed residence will be built across 2 lots, the following utility companies must be notified in order to vacate the two 6-foot side easements.

Table with utility companies: Comcast (Anthony Springsteel), AT&T (Mr. Ivan Arill), Florida Power & Light (April Parker, Laura Goez), Florida City Gas (Generic Mailbox).

NOTES\*

- 1) MINIMUM 12" TEMPORARY PIPE REQUIRED IN CITY RIGHT OF WAY OR A REJECTION FEE WILL BE INCURRED IF NOT INSTALLED.
2) PER CITY CODE 51.04(4)(E) - 80% IS THE MAXIMUM PERMISSIBLE IMPERVIOUS AREA ALLOWED.
3) ARTIFICIAL GRASS IS PROHIBITED IN THE CITY RIGHT OF WAY AND ALL CITY EASEMENTS.
4) SIDEWALKS WITHIN THE CITY RIGHT OF WAY MUST BE CONCRETE AND MEET ALL ADA REQUIREMENTS. SIDEWALK CLOSURE REQUEST FORMS ARE REQUIRED AND SIDEWALK CLOSED SIGNS MUST BE IN PLACE.
5) MUST INSTALL SILT FENCE ALONG DITCH, CANAL, TRACT, OR WATERWAY.

Other:
CULVERT PIPE TO BE SIZED AT STAKEOUT

\*For Pool Permit Only\* Final Inspection Approval Date: Inspector:

## General Permit Requirements

1. The work performed shall not adversely affect the public's health, safety, or general welfare, and shall be conducted and maintained in a safe and sanitary condition at the sole cost, risk, and responsibility of the permittee. The City may issue a stop work order for any work that is creating a threat to the public's health, safety, or general welfare, or if the work is not in accordance with the approved permit.
2. The City reserves the right to require additional requirements or reject the request if the permittee has failed to comply with the requirements of a permit.
3. The work shall be completed in accordance with the approved permit.
4. The permittee shall notify the city for the following inspections: culvert stakeout, driveway, and final.
5. The work shall not alter the material, slope, or finish of a sidewalk that is adjacent to or bisects the driveway.
6. Contractors will be responsible for the repair of any roadway damaged during construction. When damage to roadway is noted, a police report as well as damage claim will be filed. The City will then contract with an appropriate vendor to conduct repair. The contractor will be responsible for all costs associated with the repair and will be contacted by the City's Risk Management Department for subrogation.
7. Any time a sidewalk is being removed; a sidewalk closure request form is required. (See requirements on the link below).

<https://www.cityofpsl.com/government/departments/public-works/commercial-residential-review-permitting>

8. Must install silt fence along all ditches, canals, or waterways.
9. Must protect all City culvert pipes from debris. Contractor may be required to clean all City pipes if not protected during construction.

I, Joyce Villar, intending to be legally bound, hereby certify that the work authorized by the issuance of this permit will be installed in accordance with all applicable Port St. Lucie City Codes of Ordinances and other appropriate permits and that I have read and acknowledge the General Permit Requirements as provided above.

