

660 NW PEACOCK BLVD - RENOVATION

GENERAL NOTES

- ALL WALLS SHALL RECEIVE (2) COATS (MIN.) FIRST QUALITY LATEX PAINT; COLOR AND FINISH TO BE SELECTED BY OWNER OR INLINE WITH LANDLORDS BUILDING STANDARD.
- ALL COLUMNS, CONC. WALLS AND WINDOW HEADERS AND SILLS SHALL BE FURRED TO MINIMUM DIMENSION POSSIBLE.
- PROVIDE FULLY DETAILED SHOP DRAWINGS FOR ALL ITEMS REQUIRING FABRICATION, I.E.: CASEWORK, MILLWORK, DOORS, AND CONSULT ARCHITECT / OWNER FOR HARDWARE SELECTIONS.
- DOOR SHALL BE 1-3/4" THICK MIN UNO.
- FINAL CLEAN & PUNCH LIST SHALL LEAVE SUITE IN AN "AS NEW" CONDITION. ALL TRADES SHALL BE RESPONSIBLE TO ENSURE THAT THE REQUIREMENTS OF THIS CONTRACT ARE MET.
- ALL WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR OR AS AGREED DURING CONTRACT NEGOTIATION.
- THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT A201 (LATEST ADDITION) OR EQUAL SHALL BE MADE PART OF THIS CONTRACT.
- ALL ELECTRICAL OUTLETS OR SWITCHES TO MATCH EXISTING. IF ALL NEW PROVIDE "DECORA" TYPE IN WHITE.
- G.C. SHALL COORDINATE ALL ABOVE CEILING ELEMENTS, SYSTEMS WITH STRUCTURE TO ASSURE THAT ALL REQUIRED CLEARANCES ARE PROVIDED.
- PRIOR TO ANY CONSTRUCTION, G.C. SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THIS IS IMPORTANT DUE TO THE IRREGULAR CONFIGURATION OF SOME SPACE. IF QUESTION ARISES, THE G.C. SHALL NOTIFY ARCHITECT AT ONCE FOR CLARIFICATION. FAILURE OF THE G.C. OR THEIR SUBCONTRACTORS TO SECURE SUCH CLARIFICATION PRIOR TO PLACING THE WORK IN QUESTION SHALL PLACE ALL RESPONSIBILITY TO REMOVE SUCH WORK AND REINSTALL IN ACCORDANCE WITH THE ARCHITECTS INTERPRETATION.
- ALL DIMENSIONS ARE NOMINAL AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS. MINOR ADJUSTMENTS OR WALL LOCATIONS MAY BE NECESSARY. G.C. SHALL SUBMIT A REQUEST TO THE ARCHITECT OF RECORD IN SUCH CIRCUMSTANCES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER CODES HAVING JURISDICTION OVER THE PROJECT. IT IS RECOGNIZED THAT THE A/E/ CANNOT INCLUDE EVERY CODE REQUIREMENT OF THE APPLICABLE BUILDING CODES ON THE DRAWINGS.
- UNDER NO CIRCUMSTANCES SHALL DRAWING SETS BE BROKEN UP. FULL SETS SHALL BE SUPPLIED TO ALL SUBCONTRACTORS. NO CHANGES TO CONTRACT DRAWINGS SHALL BE MADE IN FIELD WITHOUT ARCHITECTS EXPRESSED WRITTEN PERMISSION.
- DRAWINGS SHOW SCHEMATIC SCOPE OF WORK. G.C. SHALL UNDERSTAND THAT OTHER WORK MAY BE REQUIRED OUTSIDE OF THE LIMITS SHOWN ON THESE DRAWINGS.
- ALL DOORS THAT ARE TO BE REUSED OR LEFT AS EXISTING SHALL BE REFINISHED AND FREE OF ANY AND ALL DEFECTS, BLEMISHES, SCUFFS OR SCRATCHES AS BEST AS POSSIBLE.
- GC SHALL REMOVE ALL UNUSED/ ABANDONED TELEPHONE, DATA, ELECTRIC WIRING AND CONDUIT FROM ABOVE CEILING AREAS.
- DIAGONAL BRACING SHALL BE ADDED AS REQUIRED FOR NEW WALLS AND EXISTING WALLS THAT REQUIRE SUPPORT DUE TO RECONFIGURATION OF SPACE.
- EXCEPT FOR FLOOR TILE ALL FLOORS WHICH ARE REQUIRED TO BE LEVEL SHALL BE LEVELED USING A FIRST QUALITY FLOOR-LEVELING COMPOUND PRIOR TO FLOOR FINISH INSTALLATION.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION THE GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH FROM THE JOB SITE DAILY. ALL CONSTRUCTION DEBRIS MUST BE CONTAINED WITHIN THE OWNERS SPACE AND SHALL REMOVE SUCH DEBRIS AND CLEAN THE SPACE UPON COMPLETION. TEMPORARY TRASH STORAGE AND REMOVAL SHALL BE AT THE CONTRACTORS EXPENSE AND SHALL BE CONTAINED IN AN APPROVED TRASH CONTAINER LOCATED WHERE REQUIRED BY LANDLORD OR AHJ.

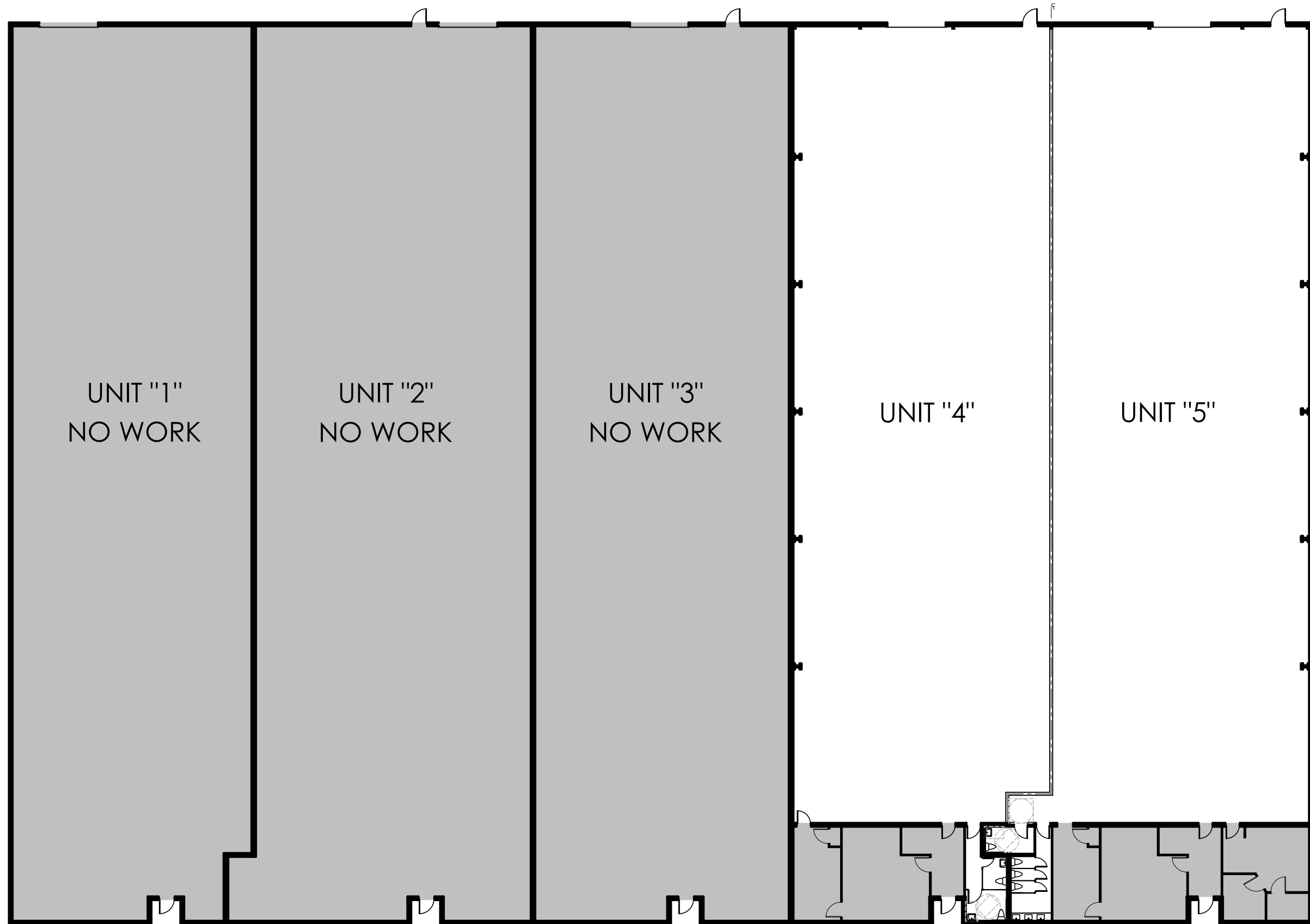
DESIGN CRITERIA

- FBC 2020 7TH EDITION
ASCE 7-16
1. BASIC WIND SPEED (WIND VELOCITY)
- 170 MPH (VULT)
132 MPH (VASD)
2. RISK CATEGORY II
3. BUILDING DESIGNED AS ENCLOSED
4. WIND IMPORANCE FACTOR 1.0
5. INTERNAL PRESSURE COEFFICIENT= +/- .18
6. EXPOSURE= C
7. NOMINAL WIND LOAD AS PER 1603.1.4 FBC
8. PERFORMANCE COMPLIANCE METHOD (EXISTING BUILDING)

SCOPE OF WORK TO INCLUDE:

INTERIOR RENOVATION OF AN EXISTING SINGLE STORY RESIDENCE

TRADES INCLUDE:
ARCHITECTURE, STRUCTURAL, ELECTRICAL AND PLUMBING.



NOT ALL OF THESE NOTES APPLY

PROPOSED FLOOR PLAN NTS

NORTH

<div>201</div> <div>ROOM NUMBER</div>	<div>3'-6"</div> <div>HEIGHT ABOVE FINISHED FLOOR</div>
<div>2</div> <div>DOOR NUMBER</div>	<div>SECTION NUMBER</div> <div>SHEET NUMBER</div>
<div>A</div> <div>WINDOW TYPE</div>	<div>ALIGN</div> <div>ALIGN W/ ESTABLISHED SURFACE</div>
<div>A</div> <div>WALL TYPE</div>	<div>6</div> <div>DETAIL NUMBER</div> <div>SHEET NUMBER</div>
<div>6</div> <div>DETAIL NUMBER</div> <div>SHEET NUMBER</div>	<div>5</div> <div>ELEVATION</div> <div>SHEET NUMBER</div>
<div>5</div> <div>ELEVATION</div> <div>SHEET NUMBER</div>	<div>DETAILED AREA</div>
<div>1</div> <div>ELEVATION</div> <div>SHEET NUMBER</div>	<div>F1</div> <div>ROOM FINISH DESIGNATION</div>
<div>4</div> <div>ELEVATION</div> <div>SHEET NUMBER</div>	

SYMBOLS

ABV A/C ACOUS ACT ADD ADH ADJ ADJT AFF ALT ALUM AHOD AP APPROX ARCH AVG	ABOVE AIR CONDITIONING ACOUSTICAL ACOUSTICAL TILE ADDENDUM ADHESIVE ADJACENT ADJUSTABLE ABOVE FINISHED FLOOR ALTERNATE ALUMINUM ANODIZED ACCESS PANEL APPROXIMATE ARCHITECTURAL AVERAGE	DBL DEMO A/C ACOUS ACT ADD ADH ADJ ADJT AFF ALT ALUM AHOD AP APPROX ARCH AVG	DOUBLE DEMOLISH, DEMOLITION DEPARTMENT DETAIL DRINKING FOUNTAIN ADHESIVE DIMENSION DISPOSAL DOWN DOOR DISHWASHER DRAWING DRAWER	FOF FLUOR FR FS FT FUR	FACE OF FINISH FLUORESCENT FIRE RATED FIRE STROBE FOOT, FEET FURRED(ING)	GA GC GL GWB GYP.BD.	GAGE, GAUGE GENERAL CONTRACTOR GLASS, GLAZING GYPSUM WALLBOARD GYPSUM BOARD	EA EL ELEV EQ EQUIP EWC EWH EXIST EXT	EACH ELEVATION ELECTRICAL ELEVATOR EQUAL EQUIPMENT ELECTRIC WATER COOLER ELECTRIC WATER HEATER EXISTING EXTERIOR	HC HM HR HT HVAC	HOLLOW CORE HOLLOW METAL HOUR HEIGHT HEATING/VENTILATING/AIR COND.	IN INCL	INCH INCLUDE(D)(ING)	JAN JC	JANITOR JANITOR'S CLOSET	LAB LAM LAV LBL LH LT	LABORATORY LAMINATED LAVATORY LABEL LEFT HAND LIGHT	MAX MECH MFR MIN MISC MTD	MAXIMUM MECHANICAL (AL) MANUFACTURE(ER) MINIMUM MISCELLANEOUS MOUNTED
BD BLDG BLKG BO	BOARD BLOCKING BOTTOM OF	BD BLDG BLKG BO		JAN JC	JANITOR JANITOR'S CLOSET	LAB LAM LAV LBL LH LT	LABORATORY LAMINATED LAVATORY LABEL LEFT HAND LIGHT	MAX MECH MFR MIN MISC MTD	MAXIMUM MECHANICAL (AL) MANUFACTURE(ER) MINIMUM MISCELLANEOUS MOUNTED										
CAB CG CLG CLR CLO COL CONC CONF CONST CONT CORR COUNT CPT CT CTR	CABINET CORNER GUARD CEILING CLEAR(ANCE) CLOSET COLUMN CONCRETE CONFERENCE CONSTRUCTION CONTINUOUS, CONTINUE CORRIDOR COUNTER CARPET CERAMIC TILE CENTER	DBL DEMO A/C ACOUS ACT ADD ADH ADJ ADJT AFF ALT ALUM AHOD AP APPROX ARCH AVG	DOUBLE DEMOLISH, DEMOLITION DEPARTMENT DETAIL DRINKING FOUNTAIN ADHESIVE DIMENSION DISPOSAL DOWN DOOR DISHWASHER DRAWING DRAWER	FOF FLUOR FR FS FT FUR	FACE OF FINISH FLUORESCENT FIRE RATED FIRE STROBE FOOT, FEET FURRED(ING)	GA GC GL GWB GYP.BD.	GAGE, GAUGE GENERAL CONTRACTOR GLASS, GLAZING GYPSUM WALLBOARD GYPSUM BOARD	EA EL ELEV EQ EQUIP EWC EWH EXIST EXT	EACH ELEVATION ELECTRICAL ELEVATOR EQUAL EQUIPMENT ELECTRIC WATER COOLER ELECTRIC WATER HEATER EXISTING EXTERIOR	HC HM HR HT HVAC	HOLLOW CORE HOLLOW METAL HOUR HEIGHT HEATING/VENTILATING/AIR COND.	IN INCL	INCH INCLUDE(D)(ING)	JAN JC	JANITOR JANITOR'S CLOSET	LAB LAM LAV LBL LH LT	LABORATORY LAMINATED LAVATORY LABEL LEFT HAND LIGHT	MAX MECH MFR MIN MISC MTD	MAXIMUM MECHANICAL (AL) MANUFACTURE(ER) MINIMUM MISCELLANEOUS MOUNTED

CONTACT INFORMATION

OWNER

660 PSL LLC
101 PUGLIESE'S WAY
DELRAY BEACH, FL 33444

CIVIL ENGINEER

NOT APPLICABLE

LANDSCAPE ARCHITECT

NOT APPLICABLE

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER

SPECIALTY ENGINEERING AND DESIGN, LLC
1599 SW 30TH AVENUE, SUITE 1
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561-752-5440

STRUCTURAL ENGINEER

SPECIALTY ENGINEERING AND DESIGN, LLC
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CONTRACTOR

ROMAN CONSTRUCTION COMPANY
101 PUGLIESE'S WAY
DELRAY BEACH, FL 33444

OTHER

NOT APPLICABLE

DRAWING INDEX

CS

COVER SHEET

ARCHITECTURE

A150

A250

A601

DEMOLITION PLAN AND PROPOSED FLOOR PLAN
LIFE SAFETY PLAN
DETAILS

E1

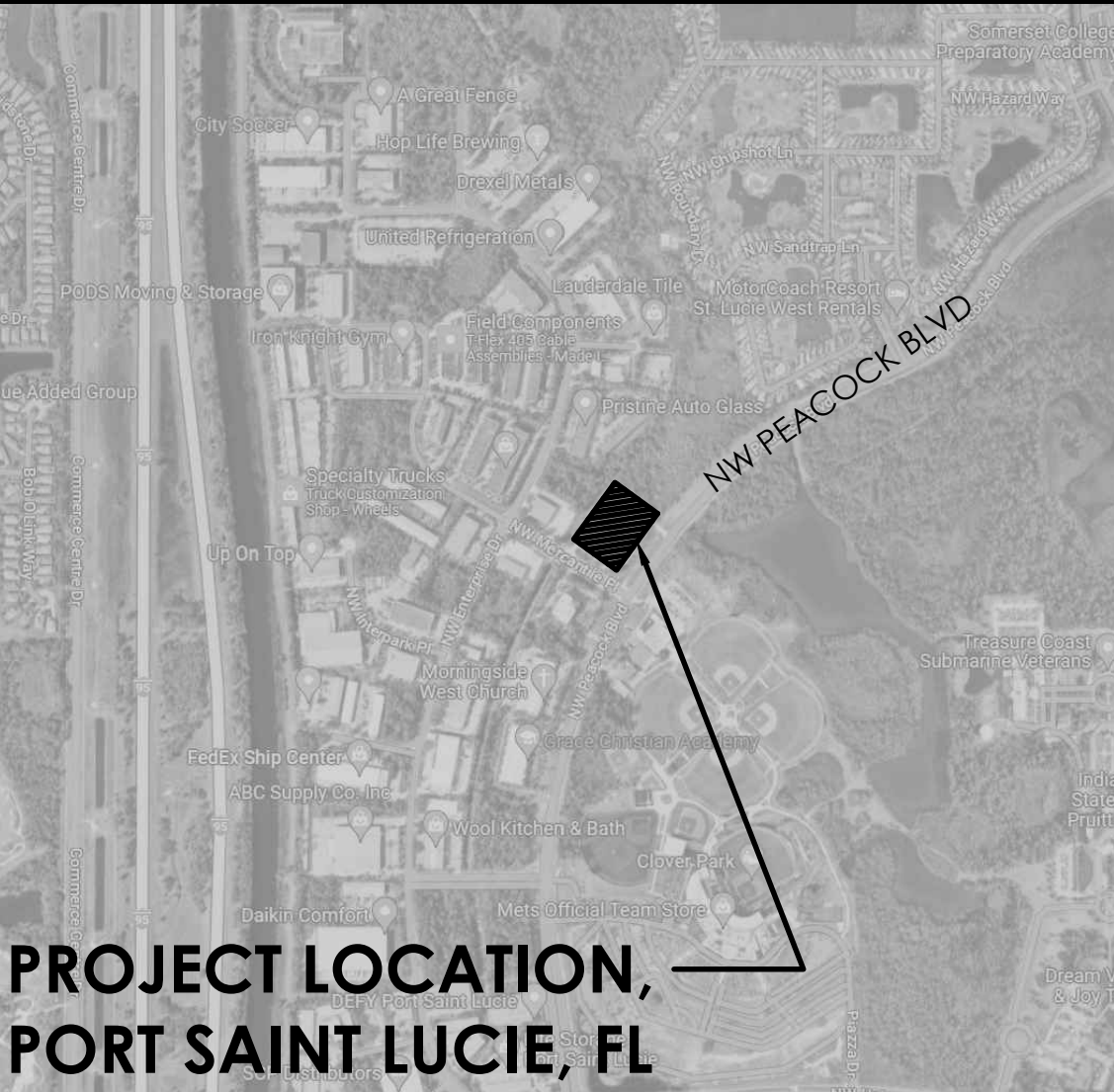
P1

ELECTRICAL PLAN AND RISER DIAGRAM
DOMESTIC WATER AND SANITARY FLOOR PLAN

S1

S2

DEMO PLAN, FOUNDATION PLAN AND NOTES
DETAILS & NOTES



PROJECT LOCATION, PORT SAINT LUCIE, FL

LOCATION MAP

NORTH

EARTH		WOOD		PLASTER	
GRAVEL		SHIM		STUCCO	
SAND		FINISHED WOOD		ACOUSTICAL CEILING	
CONCRETE		PLYWOOD		CERAMIC TILE	
BRICK		STEEL		CARPET	
MASONRY UNIT		INSULATION BATT		GLASS	
MARBLE		INSULATION RIGID		SPANDREL	
GRANITE		GYPSUM WALL BOARD			

MATERIAL LEGEND

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SHEET INFORMATION

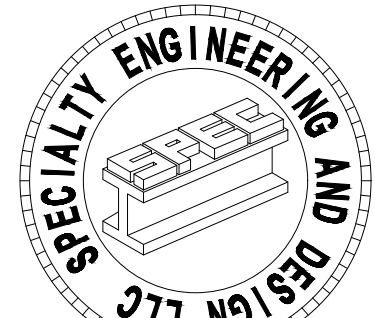
COVER SHEET

PROJECT INFORMATION

660 NW PEACOCK BLVD, PORT
SAINT LUCIE; 34986

CLIENT INFORMATION

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COMPANY
101 PUGLIESE'S WAY
DELRAY BEACH, FL 33444



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FILE NAME.

SCALE AS NOTED

DATE 07/12/2023

RVD. BY DAL

DRWN. BY IO

REVISION

DESIGNED BY: J.A.G. DRAWN BY: M.L.B. CHECKED BY: J.A.G. APPROVED BY: J.A.G. DIGITALLY SIGNED: J.A.G. SHALL COMPLY WITH AIAA-2002

SEAL
CARY MCDOUGLE, PE FL #56214
D. MARK LeBLANC, PE FL #35683
D. ADAM LeBLANC, PE FL #77012

SHEET #

CS

DEMOLITION PLAN NOTES

1. THESE DEMOLITION PLAN DRAWINGS WERE CREATED FROM EXISTING WORKING DRAWINGS. THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR.

2. CONTRACTOR TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE DEMOLITION WORK IN AN AREA.

3. WHERE DISCREPANCIES INVOLVE STRUCTURAL COMPONENTS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.

4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SALVAGE OF LIGHT FIXTURES, DOORS, FURNISHINGS, AND MISC. EQUIPMENT.

5. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS.

6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL, OTHER TENANTS AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. SEE NFPA 241 AND OSHA.

7. THE CONTRACTOR SHALL REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK IMMEDIATELY OR AS SOON AS POSSIBLE AFTER DAMAGE OCCURS.

8. ALL EXISTING TO REMAIN SURFACES DAMAGED DURING THE DEMOLITION/ CONSTRUCTION PROCESS SHALL BE PAINTED, PATCHED AND OR REPAIRED AS REQUIRED.

9. REMOVE ALL UNUSED DEVICES, CONDUIT, AND WIRING IN ALL THE AREAS SLATED FOR DEMOLITION.

10. DEMOLITION DEBRIS SHALL BE REMOVED DAILY.

11. ALL FLOORS AND CEILINGS SHALL BE REMOVED THROUGHOUT WHERE SPECIFICALLY NOTED.

DEMOLITION SCOPE

1. REMOVE FIXTURES AS INDICATED BY DASHED LINES.

2. REMOVE THE EXISTING WATER CLOSET AS INDICATED BY DASHED LINES.

3. REMOVE THE BATHROOM SINK AND VANITY AS INDICATED BY DASHED LINES.

* EXISTING ELECTRICAL PANELS TO REMAIN.

DEMOLITION LEGEND

EXISTING EXTERIOR CMU AND INTERIOR PARTITIONS TO REMAIN.

EXISTING EXTERIOR CMU, INTERIOR PARTITIONS, DOORS, WINDOWS AND FIXTURES TO BE REMOVED.

TOILET FIXTURE CALCULATIONS

PER CHAPTER 4, SECTION 403 OF THE FBC- PLUMBING (TABLE 403.1) TOILET FIXTURES FOR BUSINESS OCCUPANCIES

REQUIREMENT:

WATER CLOSETS

MEN125

WOMEN125

LAVATORIES140

REQUIRED:

1. MENS AND 1 WOMENS BATHROOM ARE REQUIRED TO INCLUDE 1 WATER CLOSET AND 1 LAVATORY.

PROVIDED:

UNIT "4"
1 UNISEX ADA BATHROOM, 1 UNISEX BATHROOM PROVIDED.

UNIT "5"
1 UNISEX ADA BATHROOM, 1 UNISEX BATHROOM PROVIDED.

FLOOR PLAN NOTES

1. PROVIDE 2 X6 DIMENSIONED FIRE RETARDANT BLOCKING IN PARTITIONS TO RECEIVE WALL MOUNTED FIXTURES, CABINETRY, AND SHELVING.

2. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF STUD, MASONRY, CONCRETE, GRIDLINES, UNLESS OTHERWISE NOTED.

3. THE RESIDENCE SHALL REQUIRE WITH FLORIDA PRODUCT APPROVALS HIGH-IMPACT RESISTANT GLASS AT ALL NEW DOORS AND WINDOWS. (UNLESS OTHERWISE NOTED).

4. CONTRACTOR SHALL COORDINATE DOOR AND WINDOW OPENINGS WITH DOOR AND WINDOW MANUFACTURER.

5. ALL GLASS IN DOORS AND ALL SLIDING GLASS DOORS TO BE TEMPERED.

6. ALL MIRROR INSTALLATION PER MANUFACTURER SPECIFICATIONS TO REST ON FLOOR, BASE, COUNTER TOP OR BACK SPLASH AS REQUIRED.

7. ALL BATHROOM FLOORS AND BASE MOLDING SHALL BE MADE OF IMPERVIOUS MATERIAL.

8. ALL FIXED GLASS SHALL BE 1/2" THICK (UNO)

9. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 SF. IN AREA

10. ALL NEW INTERIOR FINISHES SHALL BE SELECTED BY OWNER.

WALL TYPES

EXISTING WALL

NEW CMU BLOCK WALL

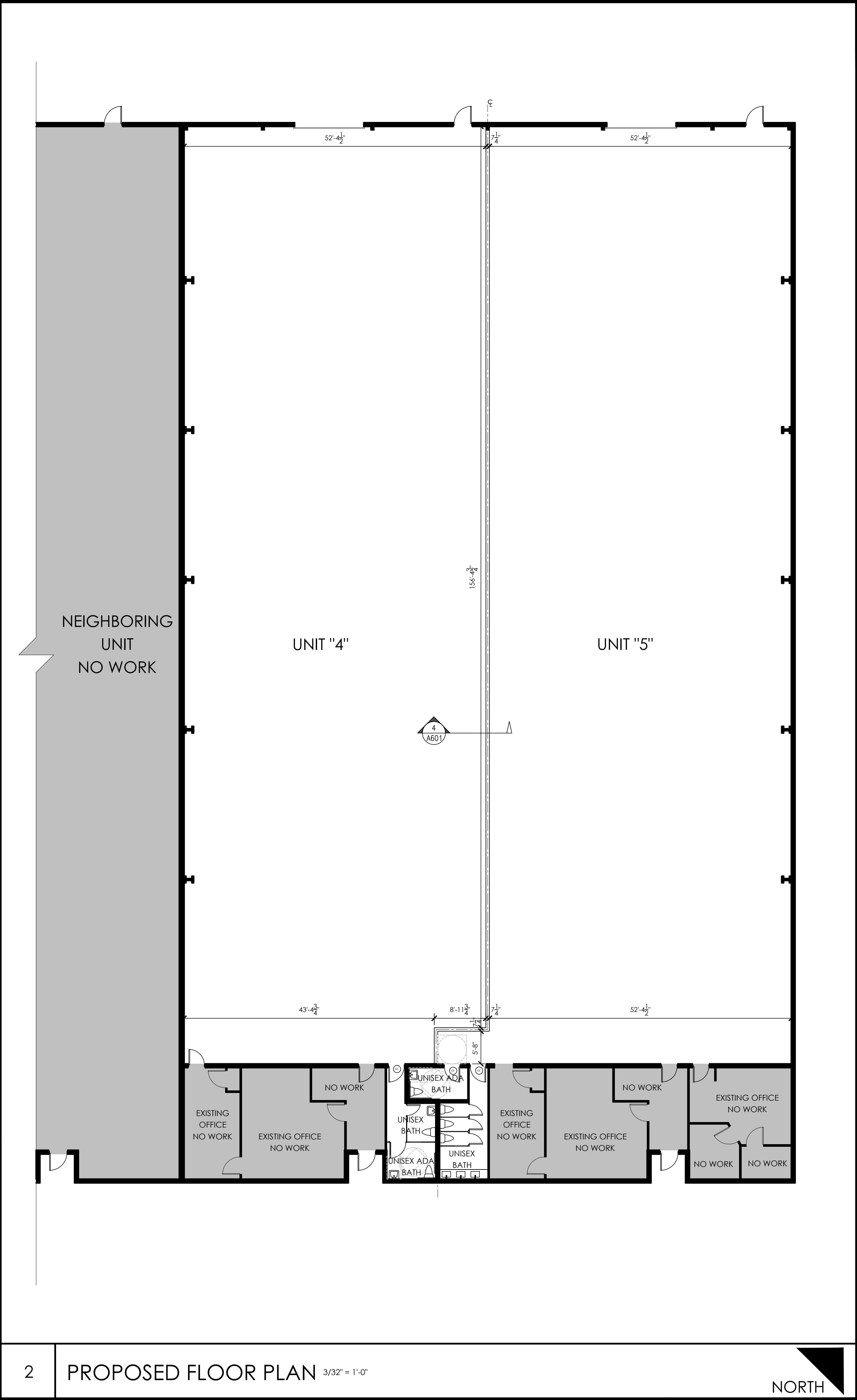
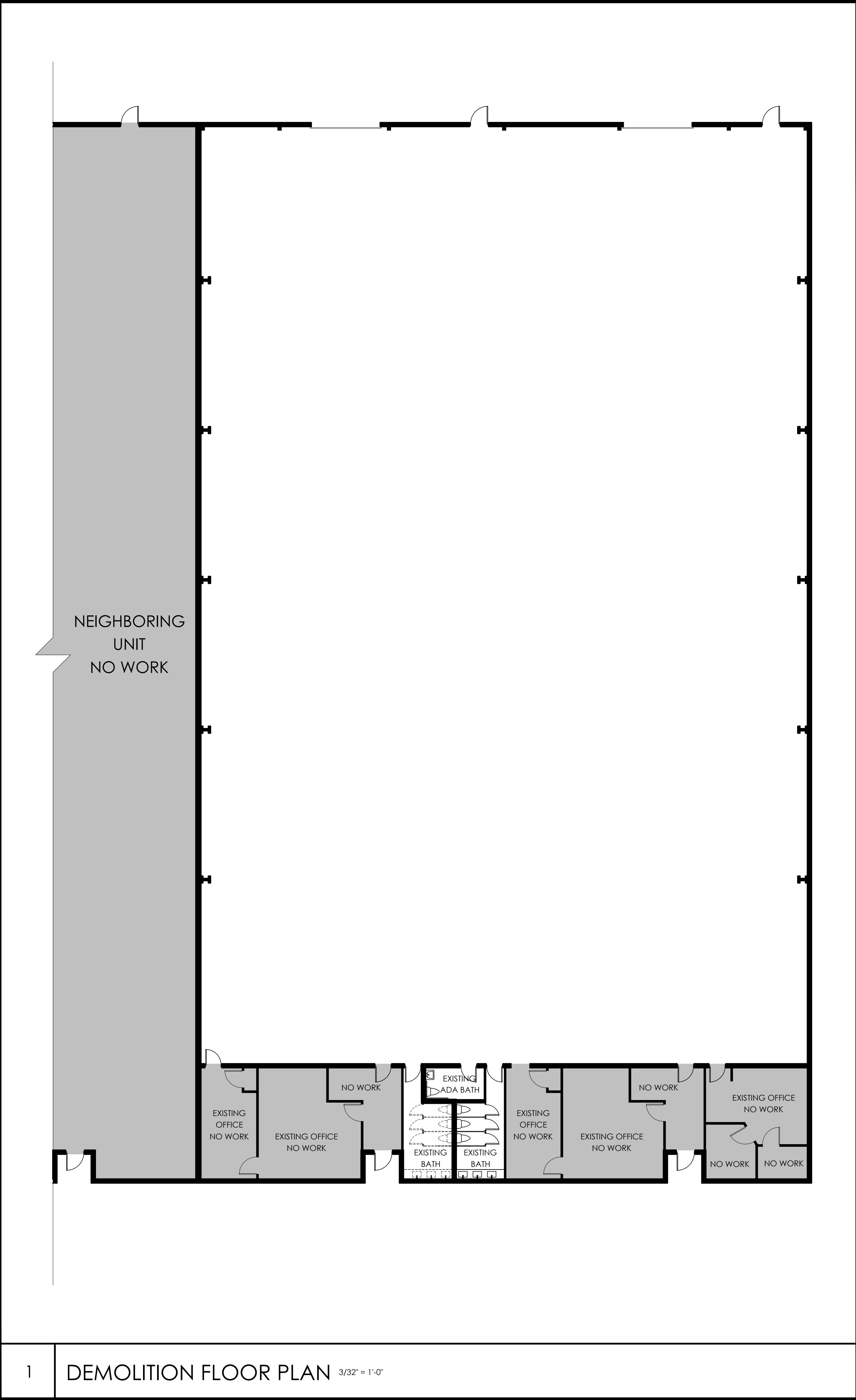
NEW INTERIOR WALL USE MR BOARD AT WET AREAS

EGRESS OPENINGS

THE MODE OF OPERATION OF OPENINGS, INDICATED IN SCHEDULE, SHALL NO REQUIRED THE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, 5.7 SQ. FT. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FINISHED FLOOR AND NOT PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.

OCCUPANCY AND CONST. TYPE

WAREHOUSE
TYPE VB UNPROTECTED



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SHEET INFORMATION
DEMOLITION FLOOR PLAN

PROJECT INFORMATION
660 NW PEACOCK BLVD, PORT SAINT LUCIE, 34986

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SCALE AS NOTED
DATE 07/12/2023
R'VD. BY DAL
DRWN. BY IO

REVISION

AL-12-2002, P.A.C. - ALLOWED FOR WET PLANT, EMBEDED REBAR, AND FULLY OPERATED SCALE, DIGITALLY CREATED WALL SHALL COMPLY WITH 2015-10-01.

SEAL
GARY MCDONOUGH, PE, FL #56214
D. MARK LOBLANC, PE, FL #35683
D. ADAM LOBLANC, PE, FL #77012

SHEET #
A201

CODE ANALYSIS

1. USE GROUP CLASSIFICATION	WAREHOUSE
2. LEVEL OF ALTERATION	LEVEL II
3. CONSTRUCTION TYPE TABLE 504.3, 506.2	V-B

AREA OF THE UNIT "4"	9,473 SF TOTAL
AREA OF THE UNIT "5"	10,047 SF TOTAL
TOTAL AREA OF UNIT "4" & "5"	19,520 SF TOTAL

4. OCCUPANCY LOAD (FBC 2020-1004.5- NUMBER BY TABLE)
(NFPA 101-7.3.1.2- OCCUPANT LOAD FACTOR)

UNIT "4" TOTAL	22 OCCUPANTS
UNIT "5" TOTAL	24 OCCUPANTS

5. PATH OF EGRESS (FBC 2020 1017.2,1006.2.1,1020.4)

MAXIMUM TRAVEL DISTANCE : 200'-0" WITHOUT APPROVED SPRINKLER SYSTEM

COMMON PATH OF EGRESS: 100'-0" WITHOUT APPROVED SPRINKLER SYSTEM

MAXIMUM DEAD END DIST: 50'-0" WITHOUT APPROVED SPRINKLER SYSTEM

6. FIRE PROTECTION SYSTEMS

7. ACCESSIBLE BUILDING

 X DESIGNATED * NON-DESIGNATED

8. EXIT DOORS (FBC 2020 1010.1)

- MINIMUM WIDTH OPEN AT 90 DEGREES FROM FACE OF DOOR IS 32"
- DOORS SWING SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE.
- DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 PERSONS OR MORE.
- DOORS SHALL HAVE A THRESHOLD OF 1/2" OR LESS
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- EXIT ILLUMINATION SIGNS ARE REQUIRED AT ALL EXIT DOORS AND ALONG THE PATHS OF EGRESS
- LOCKING DEVICE ON REQUIRED EXIT DOORS SHALL NOT REQUIRE THE USE OF A KEY FOR OPERATION FROM INSIDE THE BUILDING.

9. FIRE ALARM AND SMOKE DETECTORS

FIRE ALARM IS NOT REQUIRED

10. NUMBER OF EXITS 1006.2

UNIT "4": 2 EXIT REQUIRED, 2 EXITS PROVIDED

UNIT "5": 2 EXIT REQUIRED, 2 EXITS PROVIDED

11. PORTABLE FIRE EXTINGUISHER REQUIREMENTS

UNIT "4": 9,473 SQ FT/ 3000 SQFT = 3.15
(4 FIRE EXTINGUISHER REQUIRED), 4 PROVIDED

UNIT "5": 10,047 SQ FT/ 3000 SQFT = 3.349
(4 FIRE EXTINGUISHER REQUIRED), 4 PROVIDED

12. INTERIOR FINISH CLASSIFICATIONS

EXITS:.....'B'





ACCESS:.....'B' OR 'C'

OTHER SPACES:.....'C'

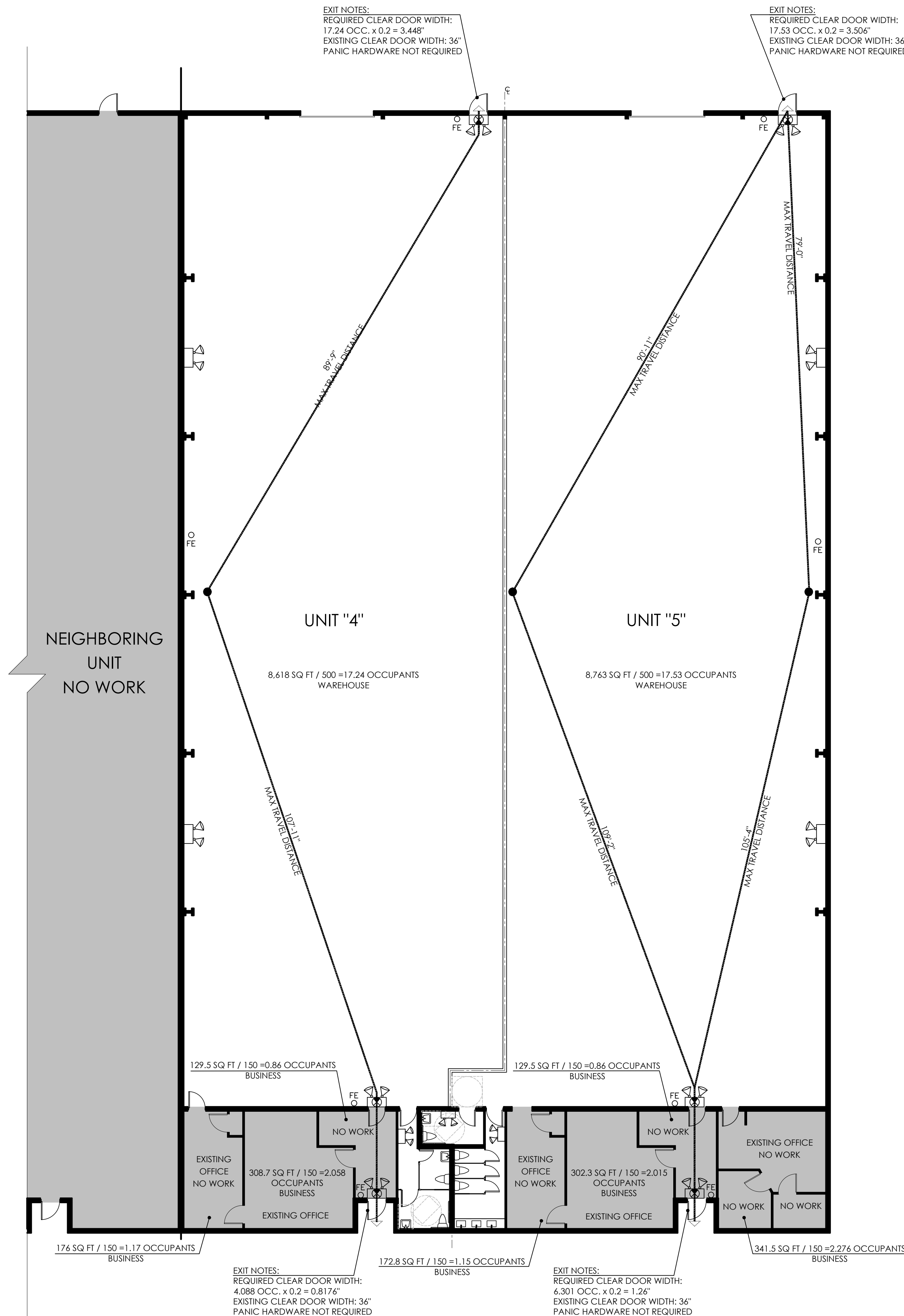
NOTE: THE FOLLOWING CODES HAVE BEEN USED FOR CROSS-REFERENCE TO COMPILE THIS LIST. THE MOST STRINGENT OF CODES WILL BE USED. PLEASE BE ADVISED THAT THE AUTHORITY HAVING JURISDICTION SUPERSEDES ALL CODES.

7TH EDITION (2020) FLORIDA BUILDING CODE, BUILDING (FBC, B),
7TH EDITION (2020) FLORIDA BUILDING CODE, EXISTING
7TH EDITION (2020) FLORIDA BUILDING CODE, ACCESSIBILITY
7TH EDITION (2020) FLORIDA BUILDING CODE, MECHANICAL (FBC, M),
7TH EDITION (2020) FLORIDA BUILDING CODE, PLUMBING (FBC, P),
2011 NATIONAL ELECTRICAL CODE (NEC),
7TH EDITION (2020) OF THE FLORIDA FIRE PREVENTION CODE
2021 ED. NFPA 101

THE FIRE PROTECTION SYSTEM SHALL BE PRESERVED AND MAINTAINED OPERATIONAL AT ALL TIMES. THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 10 HOURS FOR A PREPLANNED IMPAIRMENT. IMPAIRMENT INCLUDES BUT NOT LIMITED TO REVISIONS OF THE CEILING GRID, THE EXTENT AND EXPECTED DURATION SHALL BE COMMUNICATED. ANY RISKS CAUSED BY THE IMPAIRMENT SHALL BE MITIGATED. THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE SYSTEM IS IMPAIRED AND WHEN RETURNED TO SERVICE.

LEGEND	
FE O	FIRE EXTINGUISHER. (WALL BRACKET MOUNTED)
	EMERGENCY LIGHT (SURFACE WALL MOUNTED)
	EMERGENCY LIGHT / EXIT LIGHT COMBO (SURFACE WALL MOUNTED)
	PATH OF TRAVEL STARTING POINT
 LINE DENOTING PATH OF TRAVEL	

LIFE SAFETY PLAN

LIFE SAFETY PLAN $3/32" = 1'-0"$ 

NORTH

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LLC

SHEET INFORMATION

LIFE SAFETY PLAN

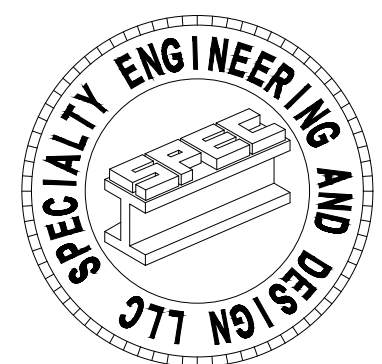
PROJECT INFORMATION

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SAINT LUCIE, 34986

CLIENT INFORMATION

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DELRAY BEACH, FL 33444



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FILE NAME.

SCALE AS NOTED

DATE 07/12/2023

RV'D. BY DAL

DRWN. BY 10

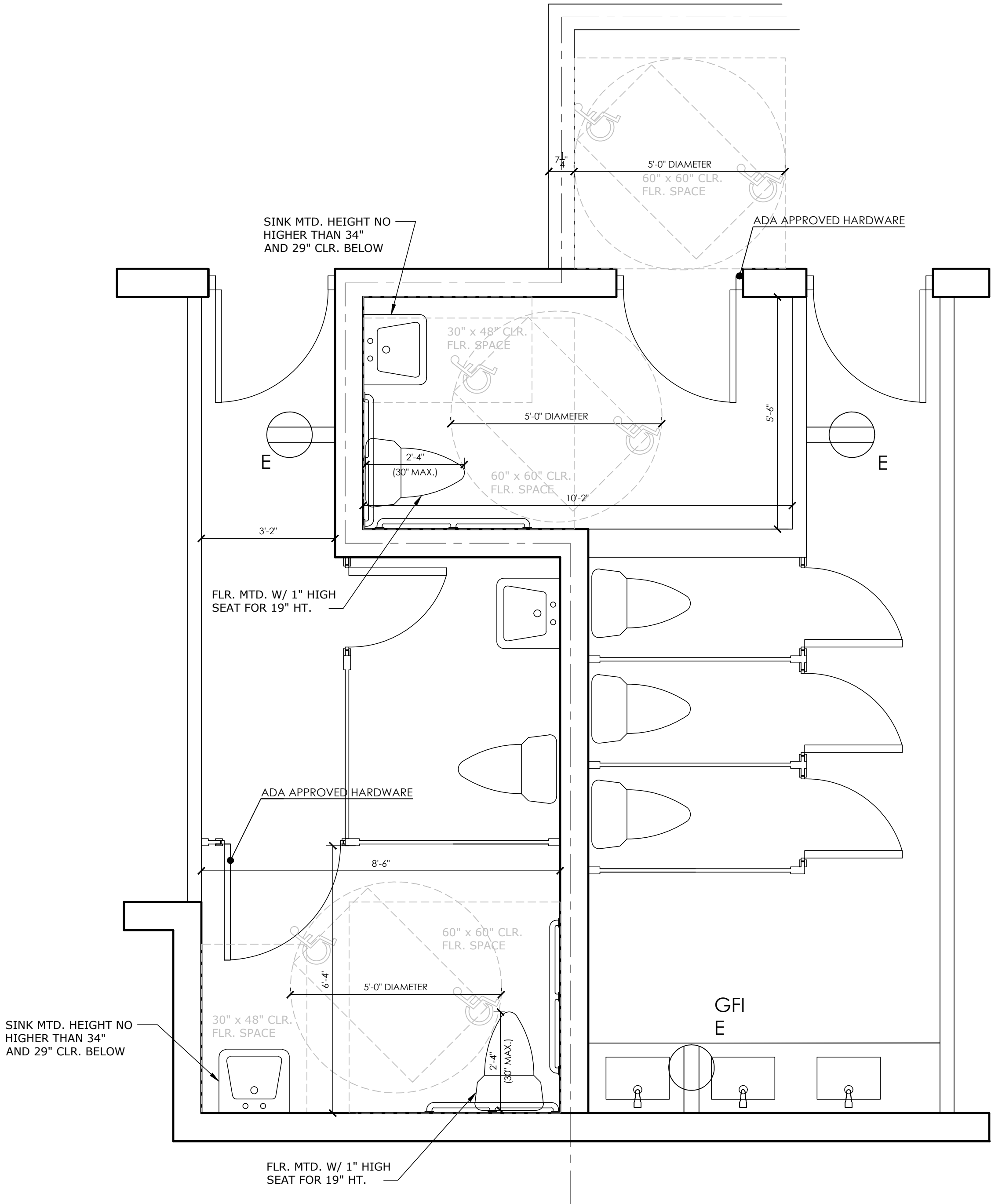
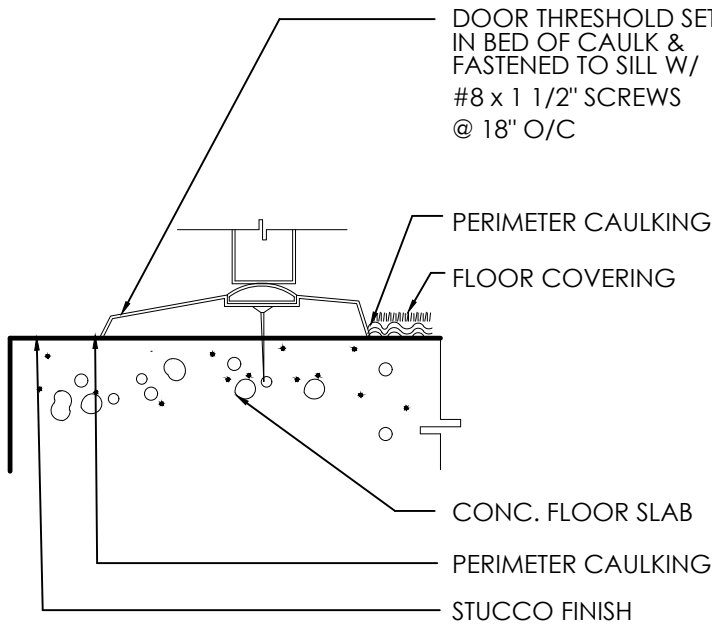
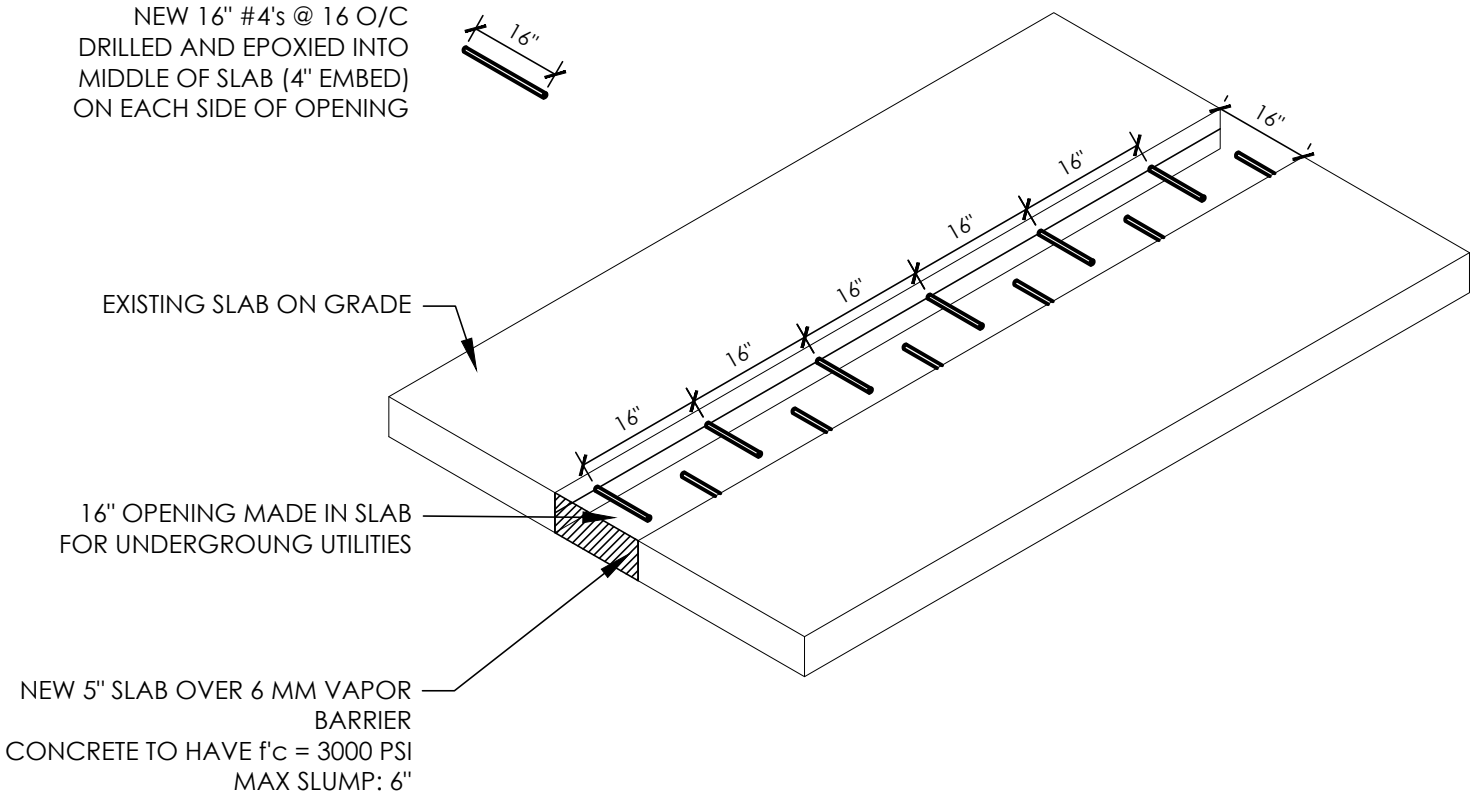
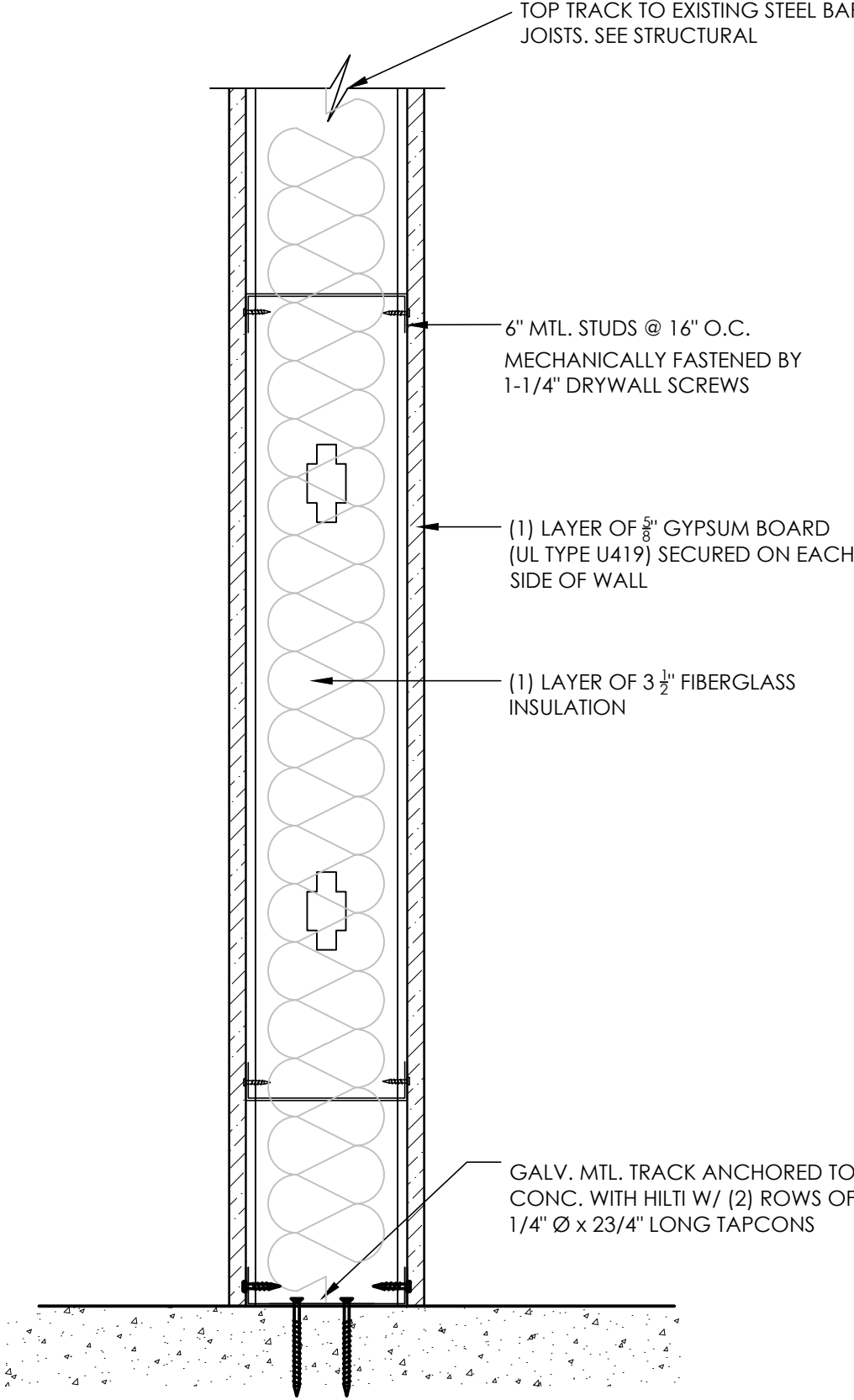
REVISION

61-615-23.002, F.A.C., ALLOWS FOR WET SEALS, EMBOSSED SEALS, AND DIGITALLY CREATED SEALS. DIGITALLY CREATED SEALS SHALL COMPLY WITH 61G15-.002(2).

SEAL
GARY McDOUGLE, PE FL #56214
D. MARK LeBLANC, PE FL #35683
D. ADAM LeBLANC, PE FL #77012

SHEET #

A250

						<p>The use of these specifications and plans shall be restricted to the original client and site for which they were prepared. Any reproduction or distribution is expressly limited to such use. Any other reproduction, reuse, or disclosure by any method, in whole or in part, is prohibited. These drawings and specifications contain proprietary information and files remain with: Specialty Engineering and Design, LLC</p>	
2		DOOR SILL NTS		3		UTILITY TRENCH OPENING 1/2" = 1'-0"	
		4		TENANT WALL SECTION 2" = 1'-0"			
1		BATHROOM ENLARGEMENT PLAN 1/2" = 1'-0"					
6		7		8		9	

SHEET INFORMATION

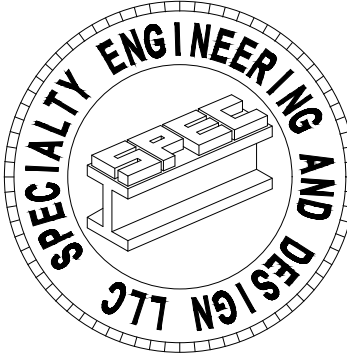
DETAILS

PROJECT INFORMATION

660 NW PEACOCK BLVD, PORT SAINT LUCIE, 34986

CLIENT INFORMATION

ROMAN CONSTRUCTION COMPANY
101 PUGLIESE'S WAY
DELRAY BEACH, FL 33444



SPECIALTY ENGINEERING AND DESIGN, LLC
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BOYNTON BEACH, FL 33426
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561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:

SCALE AS NOTED

DATE 07/12/2023

RVD. BY DAL

DRWN. BY IO

REVISION

SEAL

GARY McDOUGLE, PE FL #56214
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SHEET #

A601